

# RECEIVED

JUN 16 2021

PLANNING DIVISION

## PERMIT SUBMITTAL

ADAPTIVE REUSE OF THE FORMER UNITED STAMPING BUILDING

## EMERYVILLE ARTS CENTER

CITY OF EMERYVILLE

4060 HOLLIS STREET, EMERYVILLE, CA 94608



Project Name & Address

**EMERYVILLE ARTS CENTER**  
Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer  
**4060 HOLLIS STREET, LLC**  
1475 Powell Street, Suite 101  
Emeryville, CA 94608  
Tel: 510.428.0800 | Fax: 510.428.0802



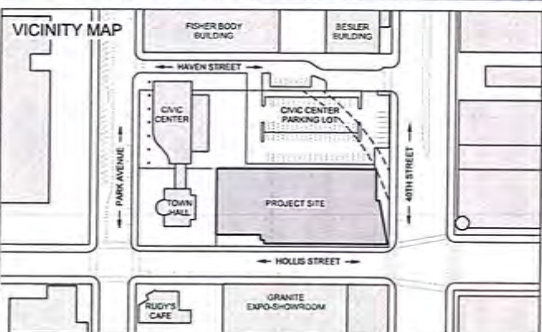
EXISTING WEST FACADE ON HOLLIS STREET



Jewel Box View From 40th Street



LOCATION MAP



VICINITY MAP

### APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA HISTORIC BUILDING CODE (CHBC)  
2019 CALIFORNIA ELECTRICAL CODE (CEC)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ENERGY CODE (CSEES)  
2019 CALIFORNIA FIRE CODE (CFC)  
2019 CALIFORNIA GREEN BUILDING CODE (CALGreen)  
2019 ADA STANDARDS FOR ACCESSIBLE DESIGN

### GREEN BUILDING NOTES

1. COMPLY WITH CALGREEN MANDATORY MEASURES. SEE SHEET G003, G004, G005.
2. BEST MANAGEMENT PRACTICES: COMPLY WITH STORM WATER POLLUTION PREVENTION REQUIREMENTS PER ALGAEVUE SECTION 5.106.1. CONTRACTOR TO SUBMIT BMP PLANS TO THE ENFORCING AGENCY PRIOR TO COMMENCEMENT OF EXCAVATION AND GRADING.
3. CONSTRUCTION WASTE MANAGEMENT: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 75% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE PER CALGREEN SECTION 5.408.1. PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN AND DOCUMENTATION.
4. UNIVERSAL WASTE: UNIVERSAL WASTE SHALL BE DISPOSED OF PROPERLY AND BE DIVERTED FROM LANDFILL. PROVIDE DOCUMENTATION FOR VERIFICATION.
5. RECYCLING BY OCCUPANTS: PROVIDE AREAS FOR RECYCLING OF (AT A MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE, AND METAL PER ALGAEVUE SECTION 5.410.1.
6. COMMISSIONING: COMPLY WITH COMMISSIONING REQUIREMENTS PER ALGAEVUE SECTION 5.410.2, INCLUDING COMMISSIONING PLAN, TESTING, DOCUMENTATION & TRAINING, AND COMMISSIONING REPORT.

### PROJECT ROSTER

**PROPERTY OWNER**  
CITY OF EMERYVILLE  
1333 PARK AVENUE  
EMERYVILLE, CA 94608  
Attn: EMILY THERIAULT  
etheriault@emeryville.org  
(510) 596-4557  
Attn: CHADWICK SMALLEY  
csmalley@emeryville.org

**DEVELOPER**  
4060 HOLLIS STREET, LLC  
1475 POWELL STREET, STE 101  
EMERYVILLE, CA 94608  
Attn: DAVID DIAL  
ddial@forddevelopment.com  
(510) 833-6200  
Attn: STEVE SCHWARTZ  
schwartz2@fordglobal.net  
(510) 812-6469  
Attn: NICK ORTON  
norton@forddevelopment.com  
(510) 734-7634

**GENERAL CONTRACTOR**  
ED HEMMAT  
edhemmat@gmail.com  
(510) 773-7100

### DESIGN TEAM

**STRUCTURAL ENGINEER**  
NASH YOUSSEF & ASSOCIATES  
ONE SANGOMO ST., STE 3070  
SAN FRANCISCO, CA 94104  
Attn: SUDHAKSHAN NAVALPARKAM  
snavalp@nashyoussef.com  
(415) 332-9727  
Attn: JESSICA RICHARD  
jrichard@nashyoussef.com  
(415) 821-8691

**MECHANICAL ENGINEER**  
AEC DONALD MCKINNON  
dmckinnon-0@gmail.com  
209-360-9402

**PLUMBING ENGINEER**  
AEC MARK BLACKWELL  
mblackwell@yupko.com  
(510) 253-1542

**ELECTRICAL ENGINEER**  
ZEIGER ENGINEERS INC  
478 THIRD STREET  
OAKLAND, CA 94607  
Attn: RONALD ZEIGER  
rzeiger@zeigerengineers.com  
(510) 455-9391

**CIVIL ENGINEER**  
LUK AND ASSOCIATES  
738 ALFRED NOBEL DRIVE  
BERKELEY, CA 94709  
Attn: JACKIE LUK  
jackie@lukandassociates.com  
(510) 724-3358

**LANDSCAPE ARCHITECT**  
PLACEMWORKS  
1625 SHATTUCK AVE, STE 300  
BERKELEY, CA 94709  
Attn: SARAH GROHOUT  
sgrohout@placemworks.com  
(510) 495-5369  
Attn: SPENCE HOEHLER  
shoe@placemworks.com  
(415) 902-2652

**THEATRICAL & AV CONSULTANT**  
THE SHALLOX COLLABORATIVE INC  
1553 MARTIN LUTHER KING JR. WAY,  
BERKELEY, CA 94709  
Attn: ADAM SHALLOX  
adam@shallox.com  
(415) 956-4100  
Attn: MAURA LARIVIERE  
maura@shallox.com  
(415) 814-1568

**FIRE SPRINKLER DESIGNER**  
AEC ADRIEN LUCUTU  
alucutu@fireprodesigns.com  
Attn: TONY ED  
ttony@fireprodesigns.com

**FIRE ALARM DESIGNER**  
PAYMAN CHAPMAN  
payman@pmvictoria.com  
(510) 639-7055

### CONSULTANTS

**CODE CONSULTANT**  
THE FIRE CONSULTANTS  
777 N CALIFORNIA BLVD, STE 200  
WALNUT CREEK, CA 94596  
Attn: DON MCCELLER  
DMcC@thefireconsultants.com  
(925) 979-9993

**ACOUSTIC CONSULTANT**  
PAOLETTI CONSULTING  
SAN MATEO, CA 94402  
Attn: DENNIS PAOLETTI  
dpaoletti@pcconsulting.com  
(415) 992-5229

**LEED CONSULTANT**  
STOK  
945 FRONT STREET, SUITE B,  
SAN FRANCISCO, CA 94111  
Attn: BRITTANY DALL BAURTY  
bbaurty@stok.com  
(503) 654-5234  
Attn: MADGE MA  
maggema@stok.com  
(415) 233-2961  
Attn: WENHAN QIU  
wenhan@stok.com  
Attn: JOSEPH LINES  
jlines@stok.com  
(818) 531-1126 x 108

**GEOTECHNICAL ENGINEER**  
GRAY GEOTECH  
3234 ALFA LANE,  
LAFAYETTE, CA 94549  
Attn: JOSEPH GRAY  
jgray@graygeotech.com  
(925) 999-6254

### PROJECT DESCRIPTION

THE PROJECT INCLUDES THE SHELL AND STRUCTURAL REHABILITATION OF THE UNITED STAMPING BUILDING, INTERIOR IMPROVEMENTS AND LANDSCAPING.

THE PROJECT SCOPE INCLUDES:

- REHABILITATION OF THE DETERIORATED BUILDING SHELL & STRUCTURE
- SELECTIVE DEMOLITION
- INTERIOR RENOVATIONS & NEW ADDITIONS TO ACCOMMODATE NEW USES INCLUDING:
  - NEW CAPE ADDITION & MAIN ENTRANCE (WEST FACADE ON HOLLIS STREET)
  - NEW ENTRANCE & WALKWAY FROM THE EXISTING PARKING (EAST FACADE FACING HAVEN STREET)
  - NEW 'JEWEL BOX' EXHIBIT SPACE IMPROVEMENTS AT EXISTING CONCRETE BASE (SOUTH FACADE ON 40TH STREET)
  - NEW MULTIPURPOSE GALLERY, FORUM, ARTIST'S STUDIOS, CO-WORKING SPACES, CLASSROOM, OFFICES, CONFERENCE ROOMS & RESTROOMS
- SITE IMPROVEMENTS & LANDSCAPING OF THE IMMEDIATE SITE
- REPLACEMENT OF UTILITIES AND INFRASTRUCTURE AS NEEDED

### PROJECT DATA

APN	049-0618-004
YEAR BUILT	EARLY 1940s
CONSTRUCTION TYPE	1-B (EXISTING)
FLOOR	CONCRETE SLAB ON GRADE
EXTERIOR WALLS	UN-REINFORCED BRICK MASONRY
ROOF STRUCTURE	WOOD TRUSS & DECKING
BUILDING HEIGHT / STORES	EXISTING: ± 24'-0" / 1 STORY PROPOSED: ± 24'-0" / 1 STORY
USE / OCCUPANCY	EXISTING: WAREHOUSE FOR UNITED STAMPING COMPANY (F-2) PROPOSED: VISUAL & PERFORMING ARTS FACILITY WITH ARTIST'S STUDIOS, CO-WORKING SPACES, A CAPE (A-3, A-2, B)
FLOOR AREA	EXISTING: ± 30,100 SF ADDITION: ± 600 SF TOTAL: ± 30,700 SF
LOT AREA	± 33,858 SF
FLOOR AREA RATIO	EXISTING: 30,100 SF / 33,858 SF = 0.89 PROPOSED: 30,700 SF / 33,858 SF = 0.91
FIRE PROTECTION	NEW AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT NEW FIRE ALARM SYSTEM
OFF STREET PARKING	79 (REGULAR) + 4 (ADA) + 1 (VAN) = 84 STALLS
BIKE PARKING	8 (LONG-TERM) + 8 (SHORT-TERM) = 16 BIKES

Stamp

Issues / Revisions	Date
Schematic Design	04 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
90% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020
Permit Submittal	31 Aug. 2020

Progress Date	04/05/2021
Architect's Project No.	1819
Sheet Name	

## PROJECT INFORMATION

Sheet No.

**G001**

Scale of Sheet Size 22"x34" As indicated





EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 HOLLIS STREET, LLC

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions Date

Schematic Design

Progress Date 04/05/2021

Architect's Project No. 1819R

Sheet Name

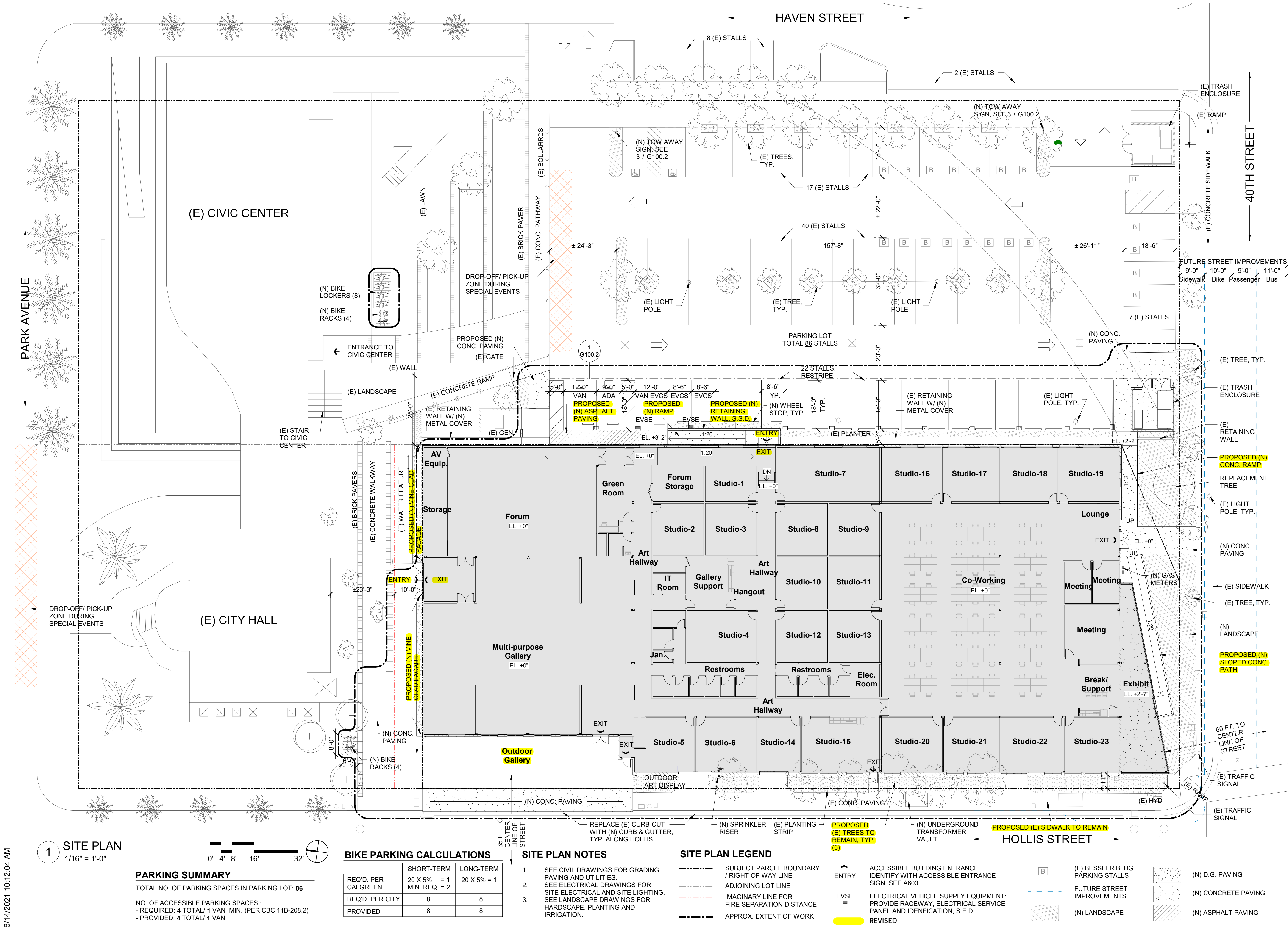
SITE PLAN

Sheet No.

G100

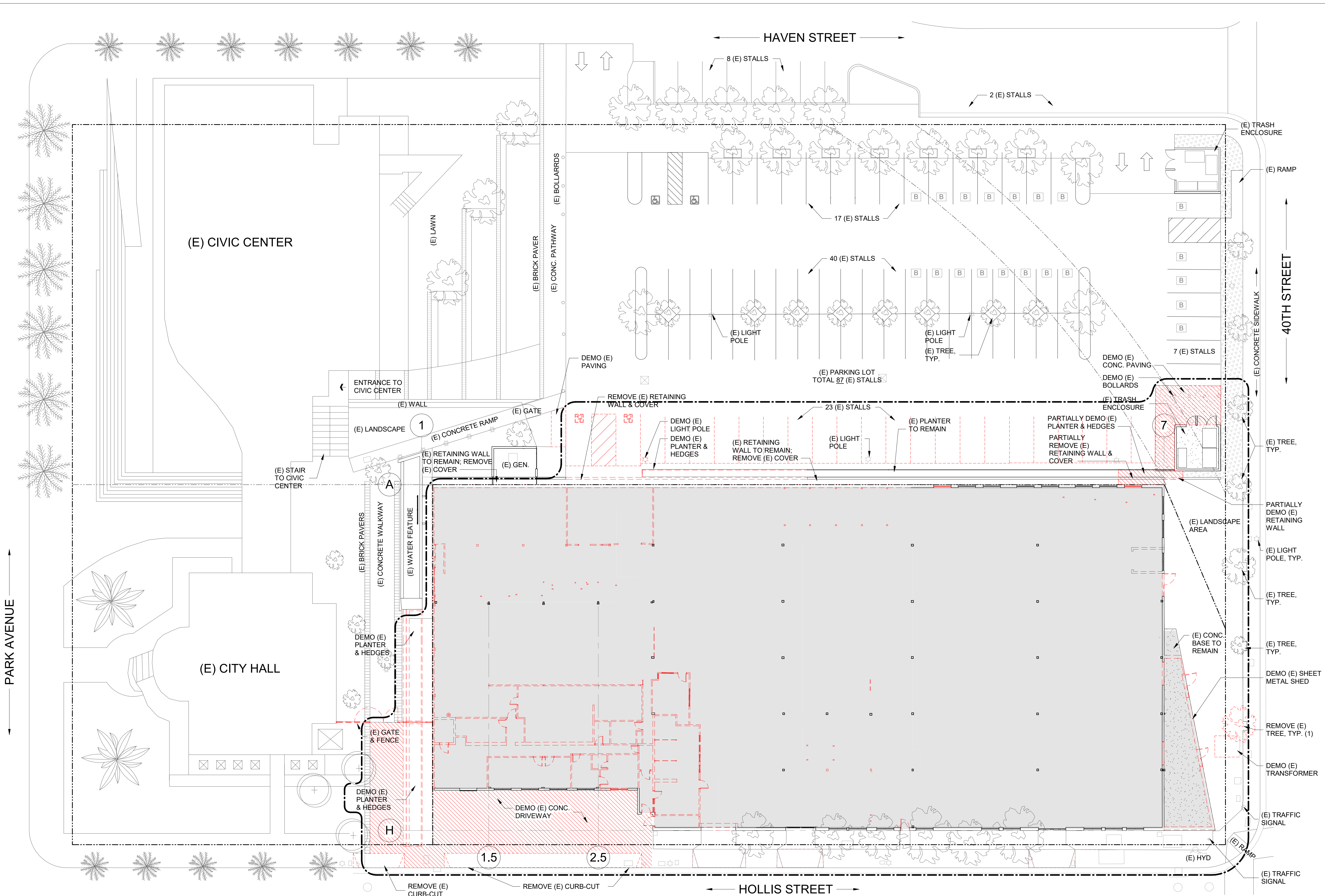
Scale at Sheet Size 22"x34"

1/16" = 1'-0"





6/14/2021 10:12:00 AM



#### SITE DEMOLITION NOTES

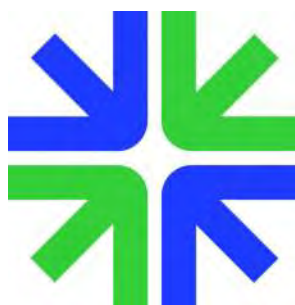
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DEPENDENCIES PRIOR TO COMMENCING DEMOLITION WORK.
- SEE DEMOLITION FLOOR PLAN SHEET A011 FOR INTERIOR DEMOLITION.
- PROVIDE TEMPORARY SIGNAGE THROUGHOUT CONSTRUCTION PERIOD IDENTIFYING ENTRANCES AND EXITS FOR WORKERS AND EMERGENCY PERSONNEL.
- SEE CIVIL DRAWING FOR ADDITIONAL SITE DEMOLITION INFORMATION.

#### SITE DEMOLITION LEGEND

- |       |   |  |                               |  |  |
|-------|---|--|-------------------------------|--|--|
| ----- | SUBJECT PARCEL BOUNDARY / RIGHT OF WAY LINE |  | EXCAVATE FOR (N) RAMP & STAIR |  | EXISTING BESSLER BUILDING PARKING STALLS |
| ----- | ADJOINING LOT LINE                          |  | DEMO (E) PAVING               |  | (E) LANDSCAPE AREA                       |
| ----- | APPROX. EXTENT OF WORK                      |  |                               |  |  |
| ----- | DEMOLISH EXISTING                           |  |                               |  |  |

Client

**CITY OF EMERYVILLE**  
CALIFORNIA



Project Name & Address

#### EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

**4060 HOLLIS STREET, LLC**

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions	Date
Schematic Design	04 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
50% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020
Permit Submittal	31 Aug. 2020

Progress Date 04/05/2021

Architect's Project No. 1819

Sheet Name

#### SITE DEMOLITION PLAN

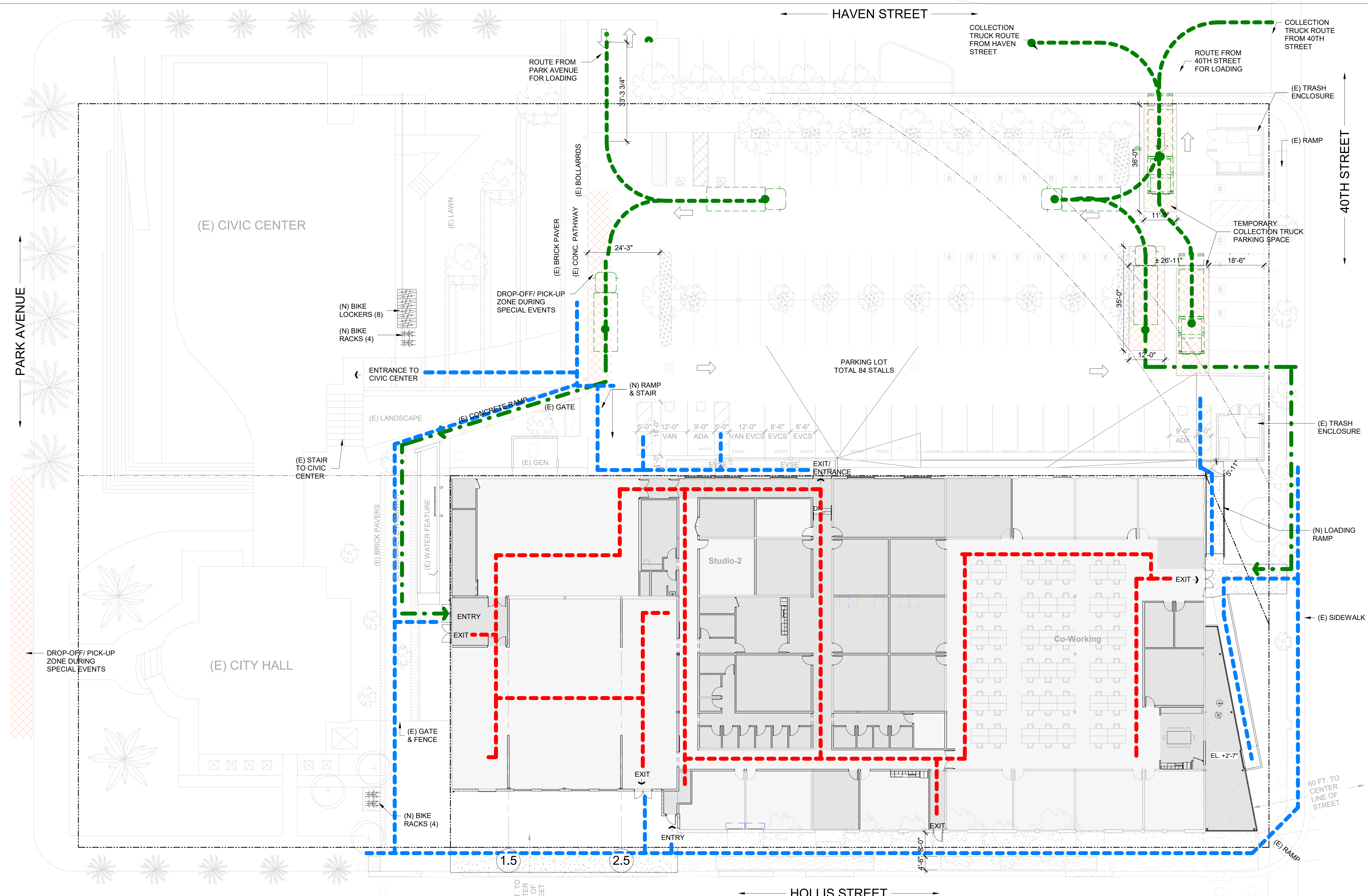
Sheet No.

**G010**

Scale at Sheet Size 22"x34"

1/16" = 1'-0"





1 SITE CIRCULATION PLAN  
1/16" = 1'-0"



SITE CIRCULATION PLAN LEGEND

- SUBJECT PARCEL BOUNDARY / RIGHT OF WAY LINE
- ADJOINING LOT LINE
- ↑ ACCESSIBLE BUILDING ENTRANCE: IDENTIFY WITH ACCESSIBLE ENTRANCE SIGN

- (N) CONCRETE PAVING
- (N) LANDSCAPE
- (N) ASPHALT PAVING
- (N) D.G. PAVING

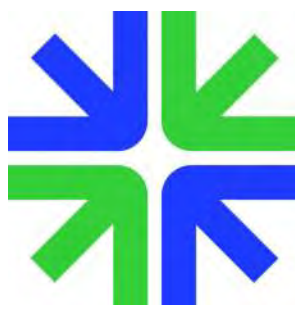
- (N) BESSLER BLDG. PARKING STALLS
- (N) TRUCK PATH
- (N) DOLLY/ PALLET JACK PATH
- (N) INTERIOR CIRCULATION

PRIMARY ACCESSIBLE PATH OF TRAVEL:

A BARRIER FREE ACCESS PATH OF TRAVEL WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE SHALL BE SLIP RESISTANT, STABLE, FIRM & SMOOTH. CROSS SLOPE SHALL NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL SHALL BE LESS THAN 5%.

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 HOLLIS STREET, LLC

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions	Date
Schematic Design	04 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
50% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020
Permit Submittal	31 Aug. 2020

Progress Date 04/05/2021

Architect's Project No. 1819

Sheet Name

SITE CIRCULATION  
PLAN

Sheet No.

G100.1

Scale at Sheet Size 22"x34"

1/16" = 1'-0"



6/14/2021 10:12:14 AM



LEGEND

PROPOSED SOLAR-READY /  
SOLAR ZONE AREA  
= **5,900 SF**

MINIMUM SOLAR-READY / SOLAR ZONE AREA  
= 15% OF TOTAL ROOF AREA (30,070 SF)  
= **4,511 SF**

NOTES:

- SEE STRUCTURAL DRAWINGS FOR  
STRUCTURAL DESIGN LOADS.
- SEE ELECTRICAL DRAWINGS FOR  
INTERCONNECTION PATHWAYS.



Client

**CITY OF  
EMERYVILLE  
CALIFORNIA**



Project Name & Address

**EMERYVILLE ARTS CENTER**

Adaptive Reuse of the former  
United Stamping Building

**4060 Hollis Street, Emeryville, CA 94608**

Developer

**4060 HOLLIS STREET, LLC**

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions	Date
Schematic Design	04 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
50% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020
Permit Submittal	31 Aug. 2020

Progress Date	04/05/2021
Architect's Project No.	1819

Sheet Name

**SOLAR-READY ROOF  
AREA PLAN**

Sheet No.

**G103**

Scale at Sheet Size 22"x34"

3/32" = 1'-0"



6/14/2021 10:11:23 AM



1 OVERALL FLOOR PLAN - MAIN LEVEL  
3/32" = 1'-0"

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

## EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 HOLLIS STREET, LLC

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions Date

Schematic Design

Progress Date 04/05/2021

Architect's Project No. 1819R

Sheet Name

## OVERALL FLOOR PLAN - MAIN LEVEL

Sheet No.

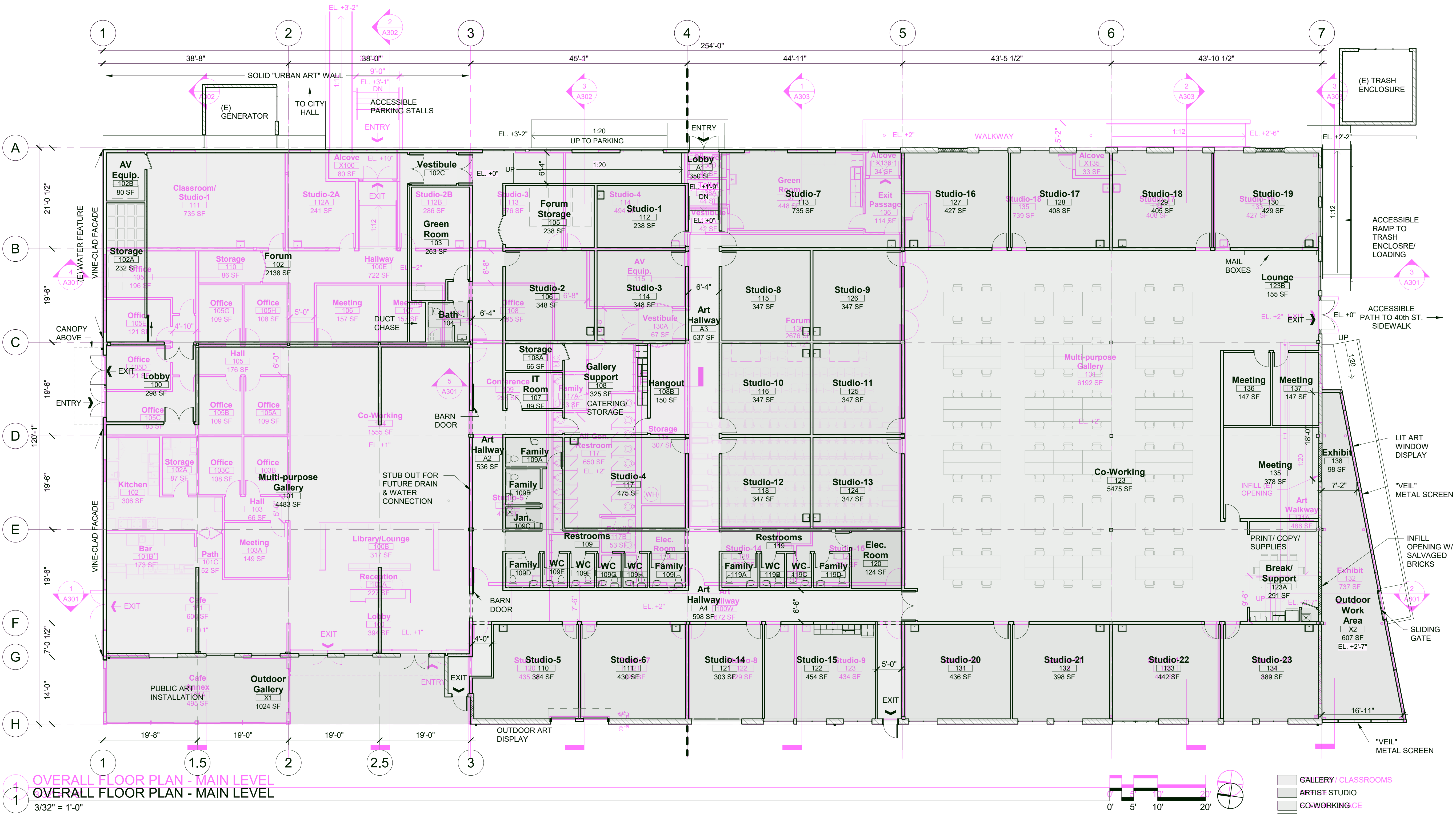
A101

Scale at Sheet Size 22"x34"

3/32" = 1'-0"



4/5/2021 11:26:20 AM



NOTE:  
PINKISH LINES ILLUSTRATE PREVIOUS VERSION DESIGN  
BLACK LINES ILLUSTRATE REVISED DESIGN

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 Hollis Street, LLC

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions	Date
Schematic Design	4 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
50% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020

Progress Date	04/05/2021
Architect's Project No.	1819R

Sheet Name

REVISION  
OVERLAY

Sheet No.

A101.1

Scale at Sheet Size 22"x34"

3/32" = 1'-0"



6/14/2021 1:12:12 PM

EVA Design Modifications

	INITIAL CONDITION	REVISED CONDITION
FORUM		
Size	2081 sqft	2138 Sqft
General Location	Center East Wall Columns 4-S and A-E	Northeast Corner Columns 1-2 and A-C
Green Room	448 sq ft Rear	283 sqft. lateral/side
Restroom Shower	Included	Included
Seating	Retractable Seating	Foldable/Storable Seating
Stage	Fixed	Stage can be set in any configuration
Increased Storage	Not applicable	Addition
Entry	Mid Area of the building	New North Entry from the Plaza
Lobby	Not Applicable	Addition off of Plaza
ADA	Longer travel distances	Shorter Distances/Immediate access from Plaza
MULTI-PURPOSE GALLERY		
Size	6181 Sqft	4483 sqft
General Location	South Center Columns 5-7 and B-F	North Wall Center Columns 1-3 and C-G
Lobby	Not Applicable	Addition
Functional Display walls	Not Applicable	Addition - 4 feature walls provide a "gallery" feel
Gallery Support Room	Not Applicable	Addition - Food heating area for caterers (as an example)
Barn Doors	Not Applicable	Wide Barn Style openings - Open during the event
Future Wet Bar	Not applicable	Addition - provide stubbed plumbing for growth
Entry	Mid Area of the building	New North Entry From Plaza
Lobby	Not Applicable	Addition off of Plaza
ADA	Longer travel distances	Shorter Distances/Immediate access from Plaza
Restrooms	None	Immediately adjacent

OUTDOOR GALLERY

Size	Not Applicable	1025 sqft
General Location		Hollis Street West Section parking area (current) Columns 1-3 and G-H
CO-WORKING AREA		
Size	1555 Sqft	5475 sqft
General Location	Center East Wall Columns 2-3 and C-G	Mid SouthCentral South Columns 5-7 and B-G
Meeting/Conference Rooms	4 Rooms	3 Rooms South wall
Break/Support Room	Not Specifid - Bar or Café	Added/Included

RESTROOMS

General Location	Center of Column Lines 3-4	Shifted in the "L" shape along Column Line E and 3-5
Functionality	Accessibility distances	Provides better access to all areas
Number	Not Applicable	6 "Family" and 6 Uni-sex
Barn Doors	Not Applicable	Wide Barn Style openings - Open during forum events
ADA	2 water closet and 2 stalls	All Will Be ADA - 12 Facilities
Common Sinks	2 - 1 at each end	All restrooms now have sinks

EXTERIOR

Landscaped Juniper Trees - Hollis	Removal	Trees Remain
Solid Urban Art Wall	Not Applicable	Added on Exterior East Wall at Columns 1-3
Concrete Sidewalk work	Entire Length of Building	Outdoor Gallery Work Remains at Column Line H and 1-3
East Building ADA Ramp	Accessed East Parking Lot from Column Line 6-2	Shortened at new East Entrance From Column Lines 3,5 to 4

North entrance

REMOVED FROM DESIGN

Cafe  
Cafe Annex  
Reception Area  
Bar  
Kitchen  
Office and Conference complex on North end  
Art Walkway ADA Ramp South End of Building  
Hollis Street Entrance  
NW Corner Upper floor Mezzanine-Storage

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 HOLLIS STREET, LLC

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions	Date
Schematic Design	04 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
50% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020
Permit Submittal	31 Aug. 2020

Progress Date	04/05/2021
Architect's Project No.	1819

Sheet Name

REVISION MATRIX

Sheet No.

A101.2

Scale at Sheet Size 22"x34"



6/14/2021 10:11:19 AM

DEMOLITION NOTES

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DEPENDENCIES PRIOR TO COMMENCING DEMOLITION WORK.

2. SCOPE OF DEMOLITION WORK INCLUDES ALL CUTTING, CORING, PATCHING AND REPAIR WORK NECESSARY TO ACCOMMODATE ALL NEW ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK REGARDLESS OF WHETHER IT IS SPECIFICALLY INDICATED ON THIS SHEET.

3. SEE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR DEMOLITION RELATED TO EACH DISCIPLINE.
4. SEE STRUCTURAL DRAWINGS FOR SHORING AND BRACING AND OTHER STRUCTURAL REQUIREMENTS. PROTECT EXISTING STRUCTURE AGAINST DAMAGE DURING DEMOLITION.

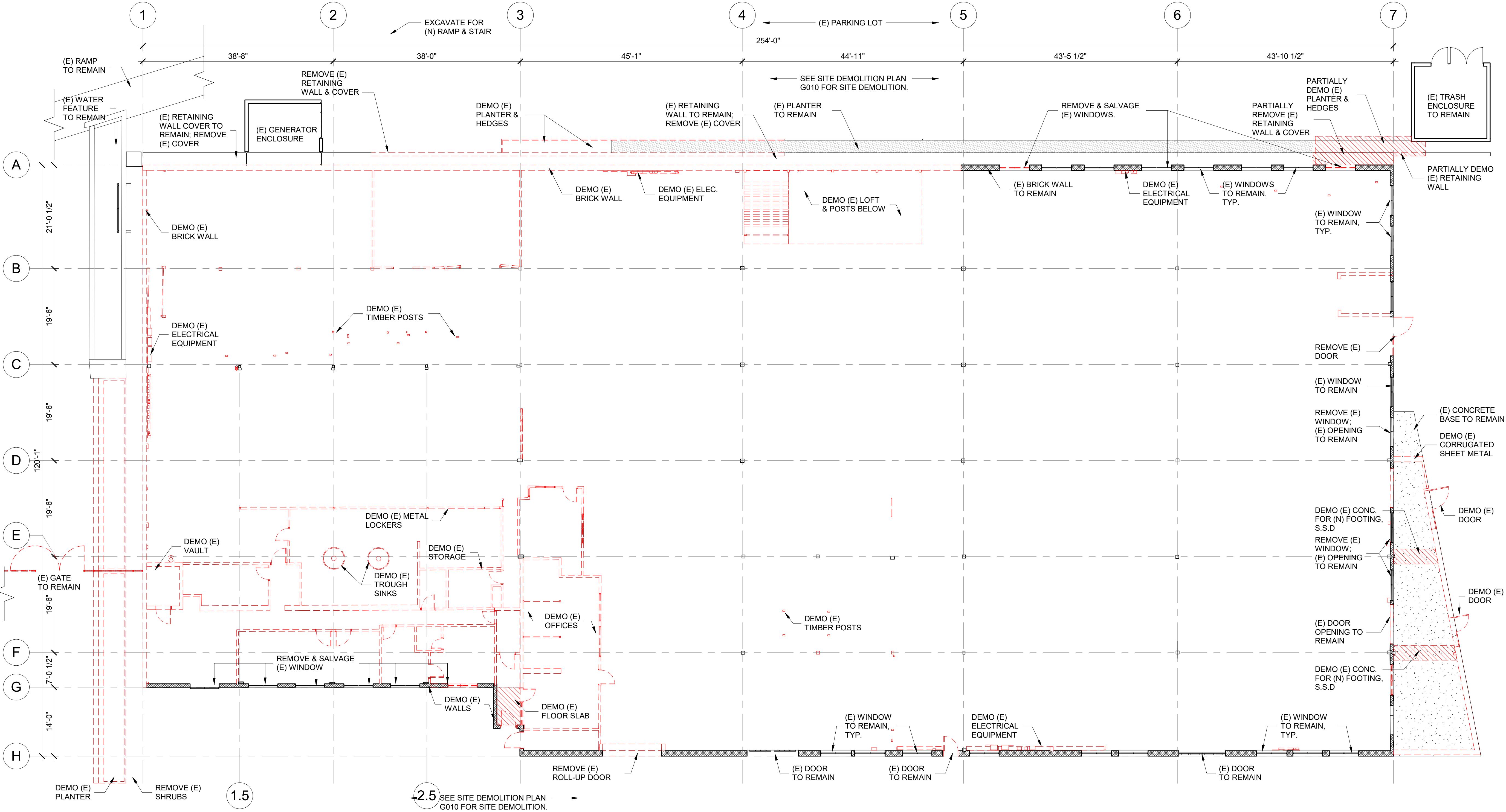
5. PROVIDE TEMPORARY SIGNAGE TRHROUGHOUT CONSTRUCTION PERIOD IDENTIFYING BUILDING ENTRANCES AND EXITS FOR WORKERS AND EMERGENCY PERSONNEL.

6. SEE DEMOLITION ELEVATIONS FOR EXTERIOR WALL & OPENING DEMOLITION.

7. FIELD VERIFY CONDITION OF ALL (E) WINDOWS. RESTORE ALL SALVAGED & (E) DIVIDED-LITE WINDOWS. SELECTIVELY SALVAGE REMOVED WINDOWS FOR RE-INSTALLATION AS NEEDED.

DEMOLITION PLAN LEGEND

- (E) EXTERIOR BRICK WALL TO REMAIN
- DEMOLISH / REMOVE (E) WALL / CONSTRUCTION
- DEMOLISH (E) FLOOR / ROOF
- EXCAVATE FOR (N) RAMP & WALKWAY



1 DEMOLITION PLAN - MAIN LEVEL  
3/32" = 1'-0"



Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 HOLLIS STREET, LLC

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions	Date
Schematic Design	04 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
50% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020
Permit Submittal	31 Aug. 2020

Progress Date 04/05/2021

Architect's Project No. 1819

Sheet Name

DEMOLITION PLAN -  
MAIN LEVEL

Sheet No.

A011

Scale at Sheet Size 22"x34"

3/32" = 1'-0"





## EMERYVILLE ARTS CENTER

4060 Hollis Street, Emeryville, CA 94608



## OVERALL FLOOR PLAN - ROOF LEVEL

# A102

As indicated

- A. SEE MECHANICAL DRAWINGS FOR ROOFTOP EQUIPMENT AND DUCTWORK.
- B. SEE PLUMBING DRAWINGS FOR VENTS THROUGH ROOF.
- C. SEE STRUCTURAL DRAWINGS FOR EQUIPMENT SUPPORT.
- D. PROVIDE FLASHING AT ROOF PENETRATIONS, TYP.
- E. PROVIDE CRICKETS AT ROOF CURBS, TYP.
- F. ROOF SHALL BE CLASS-A SPRAYED POLYURETHANE FOAM (SPF) ROOFING SYSTEM. ROOF AREA = ± 30.70 SF.

- 1 REPLACE CONDUCTOR HEAD & RAINWATER LEADER
- 2 (E) SCUPPER - REPAIR AS REQUIRED
- 3 (N) OVERFLOW SCUPPER DRAIN, S.P.D.
- 4 (N) ROOF DRAIN, S.P.D.
- 5 (N) PLYWOOD ROOF SHEATHING, TYP. S.S.D.
- 6 (N) SPF ROOFING SYSTEM: WATERPROOF COATING O/ SPF
- 7 INSULATION, 2" MIN. R-13, SRI White: 104, TYP.
- 8 (N) UNIT SKYLIGHT, SL2/A602
- 9 (N) UNIT SKYLIGHT, SEE SL1/A602
- 10 INFILL, (E) OPENING, TYP.
- 11 SADDLE/ CRICKET, SLOPE TO DRAIN, TYP.
- 12 (N) METAL EQUIPMENT SCREEN
- 13 (N) MECH. DUCTWORK, S.M.D.
- 14 (N) MECHANICAL EQUIP., S.M.D.
- 15 DUCTWORK PENETRATIONS THRU ROOF, TYP. S.M.D.
- 16 (N) G.S.M. DOWNSPOUT, 3"x4"



6/14/2021 10:11:27 AM



6/14/2021 10:11:30 AM

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 HOLLIS STREET, LLC

1475 Powell Street, Suite 101

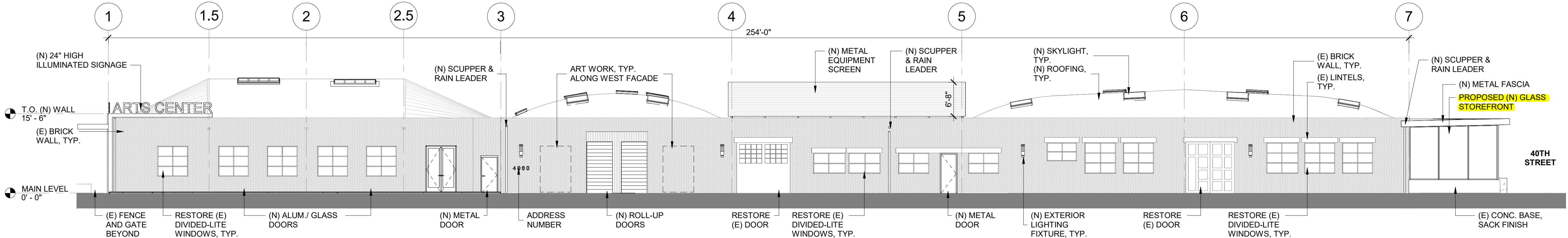
Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802

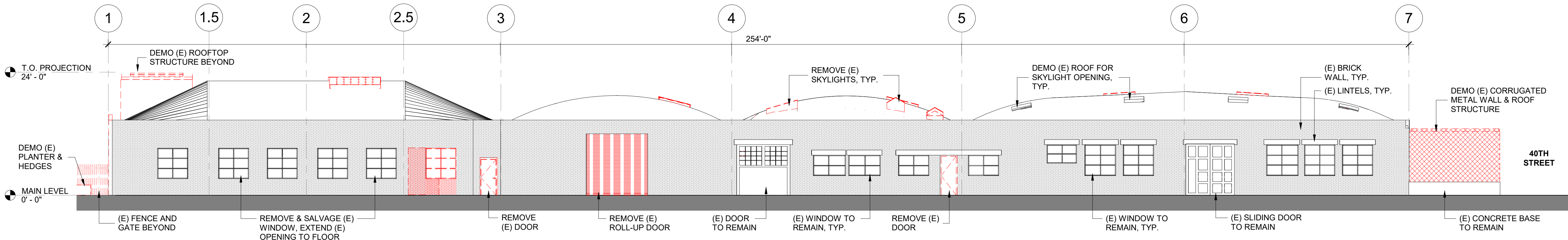


DEMOLITION ELEVATION LEGEND

- (E) EXTERIOR BRICK WALL TO REMAIN
- DEMOLISH / REMOVE (E) CONSTRUCTION
- DEMOLISH (E) BRICK WALL
- DEMOLISH (E) CORRUGATED METAL
- REVISED



3 PROPOSED BUILDING ELEVATION - WEST  
3/32" = 1'-0"



2 DEMOLITION ELEVATION - WEST  
3/32" = 1'-0"



1 EXISTING ELEVATION - WEST

Stamp

Issues/ Revisions

Date

Schematic Design

Progress Date

04/05/2021

Architect's Project No.

1819R

Sheet Name

WEST ELEVATION -  
EXISTING &  
PROPOSED

Sheet No.

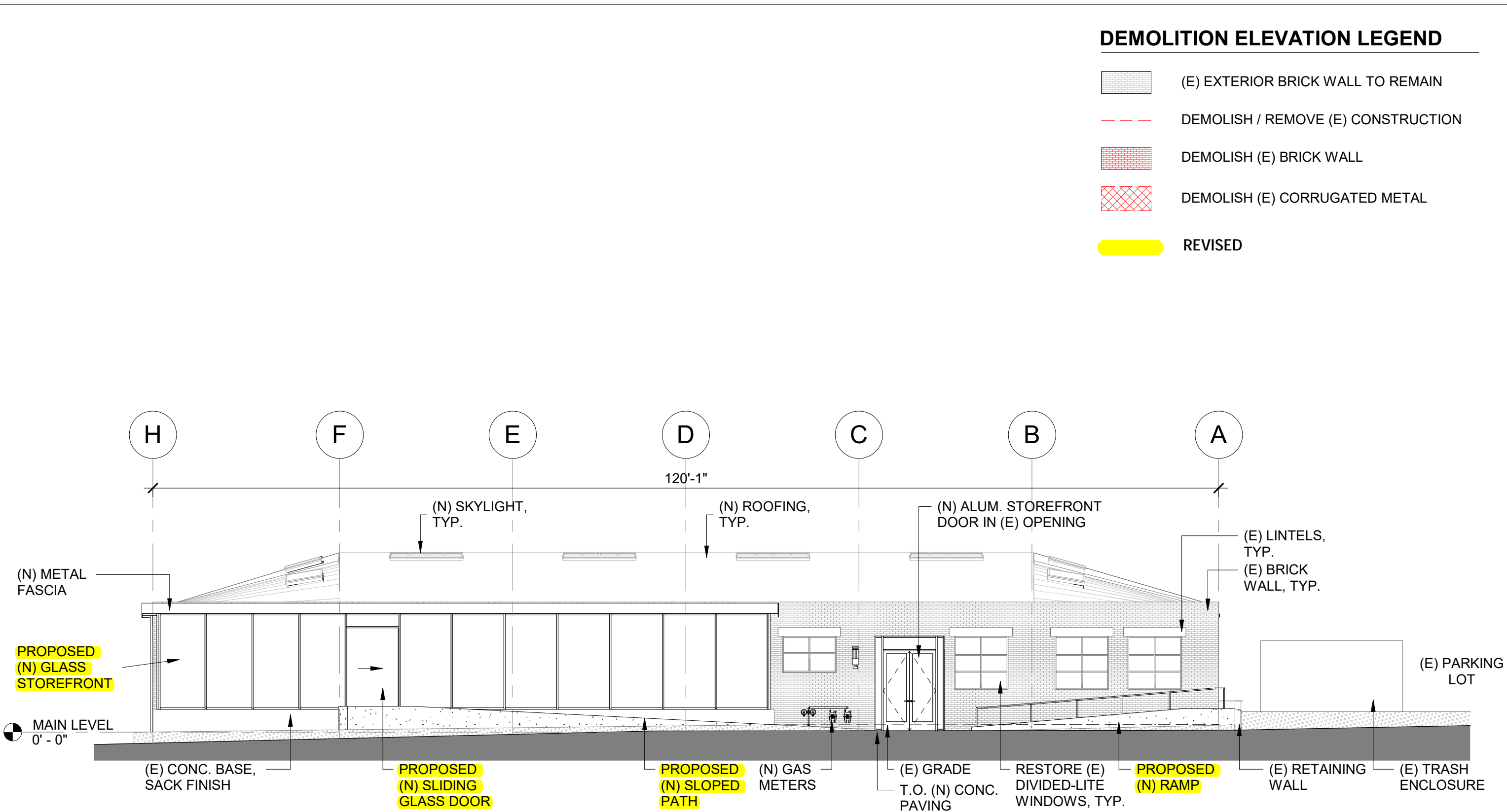
A201

Scale at Sheet Size 22"x34"

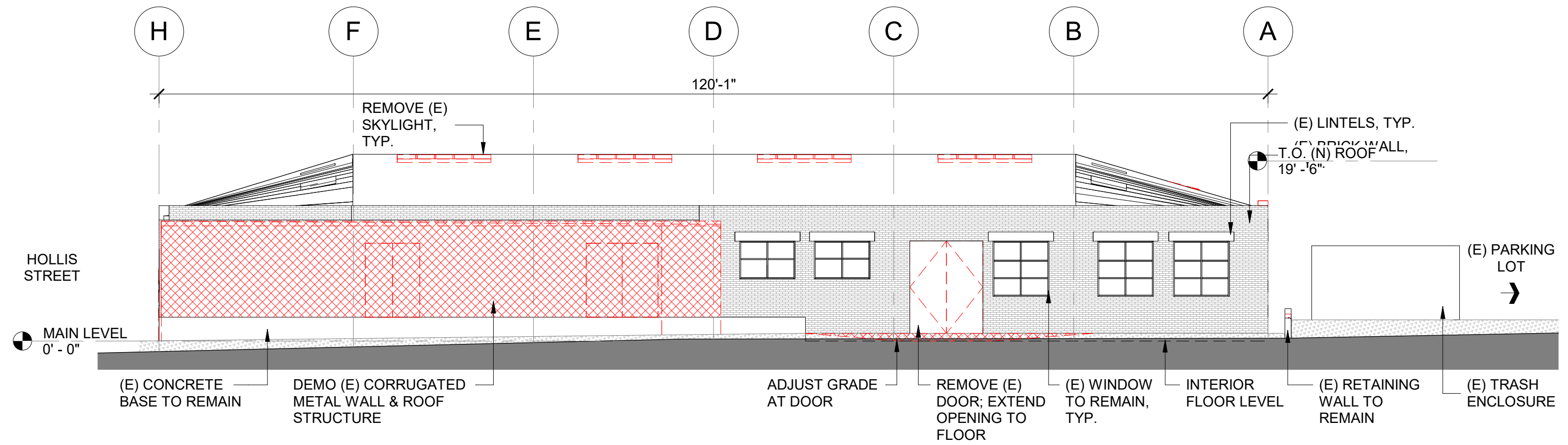
3/32" = 1'-0"



6/14/2021 10:11:34 AM



3 PROPOSED BUILDING ELEVATION - SOUTH  
3/32" = 1'-0"



2 DEMOLITION ELEVATION - SOUTH  
3/32" = 1'-0"



1 EXISTING ELEVATION - SOUTH

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 HOLLIS STREET, LLC

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions

Date

Schematic Design

Progress Date

04/05/2021

Architect's Project No.

1819R

Sheet Name

SOUTH ELEVATION -  
EXISTING &  
PROPOSED

Sheet No.

A202

Scale at Sheet Size 22"x34"

3/32" = 1'-0"



6/14/2021 10:11:43 AM

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 HOLLIS STREET, LLC

1475 Powell Street, Suite 101

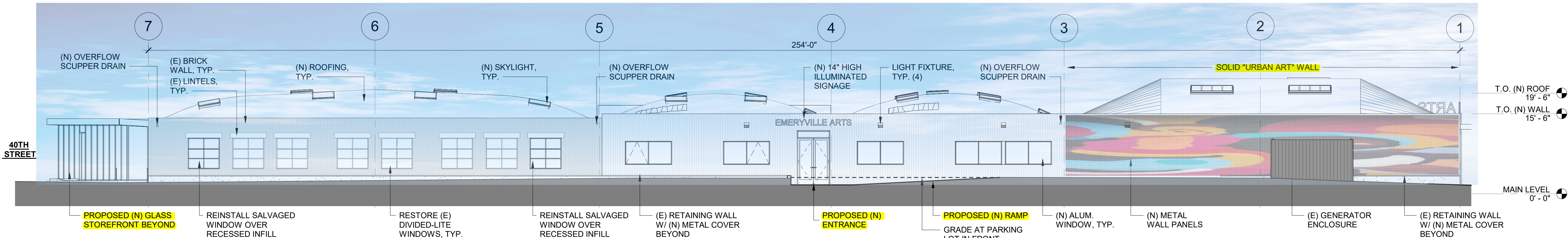
Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802

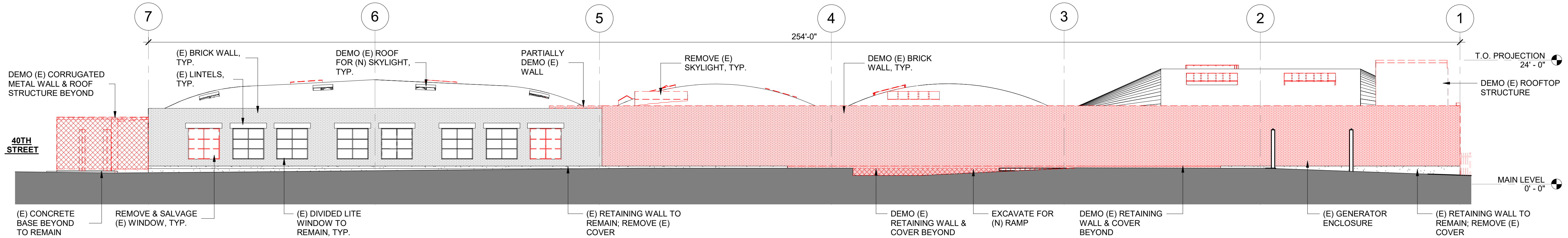


DEMOLITION ELEVATION LEGEND

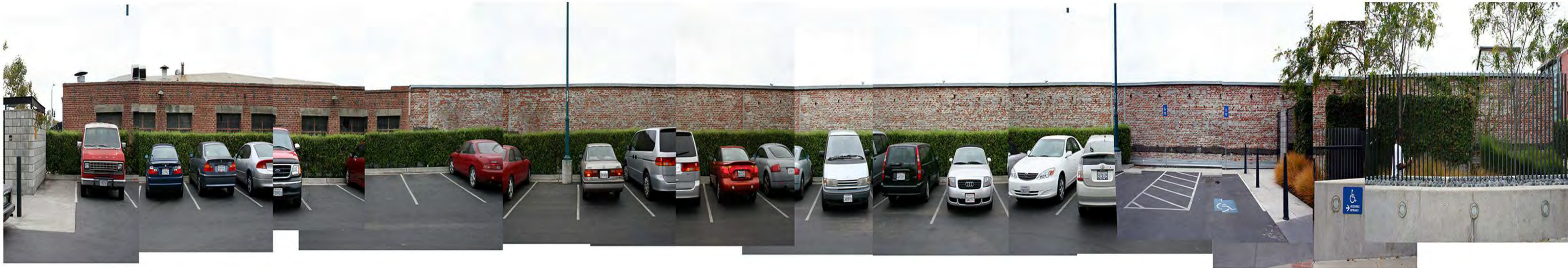
- (E) EXTERIOR BRICK WALL TO REMAIN
- DEMOLISH / REMOVE (E) CONSTRUCTION
- DEMOLISH (E) BRICK WALL
- DEMOLISH (E) CORRUGATED METAL
- REVISED



3 PROPOSED BUILDING ELEVATION - EAST  
3/32" = 1'-0"



2 DEMOLITION ELEVATION - EAST  
3/32" = 1'-0"



1 EXISTING ELEVATION - EAST

Stamp

Issues/ Revisions

Date

Schematic Design

Progress Date

04/05/2021

Architect's Project No.

1819R

Sheet Name

EAST ELEVATION -  
EXISTING &  
PROPOSED

Sheet No.

A203

Scale at Sheet Size 22"x34"

3/32" = 1'-0"



6/14/2021 10:11:46 AM

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

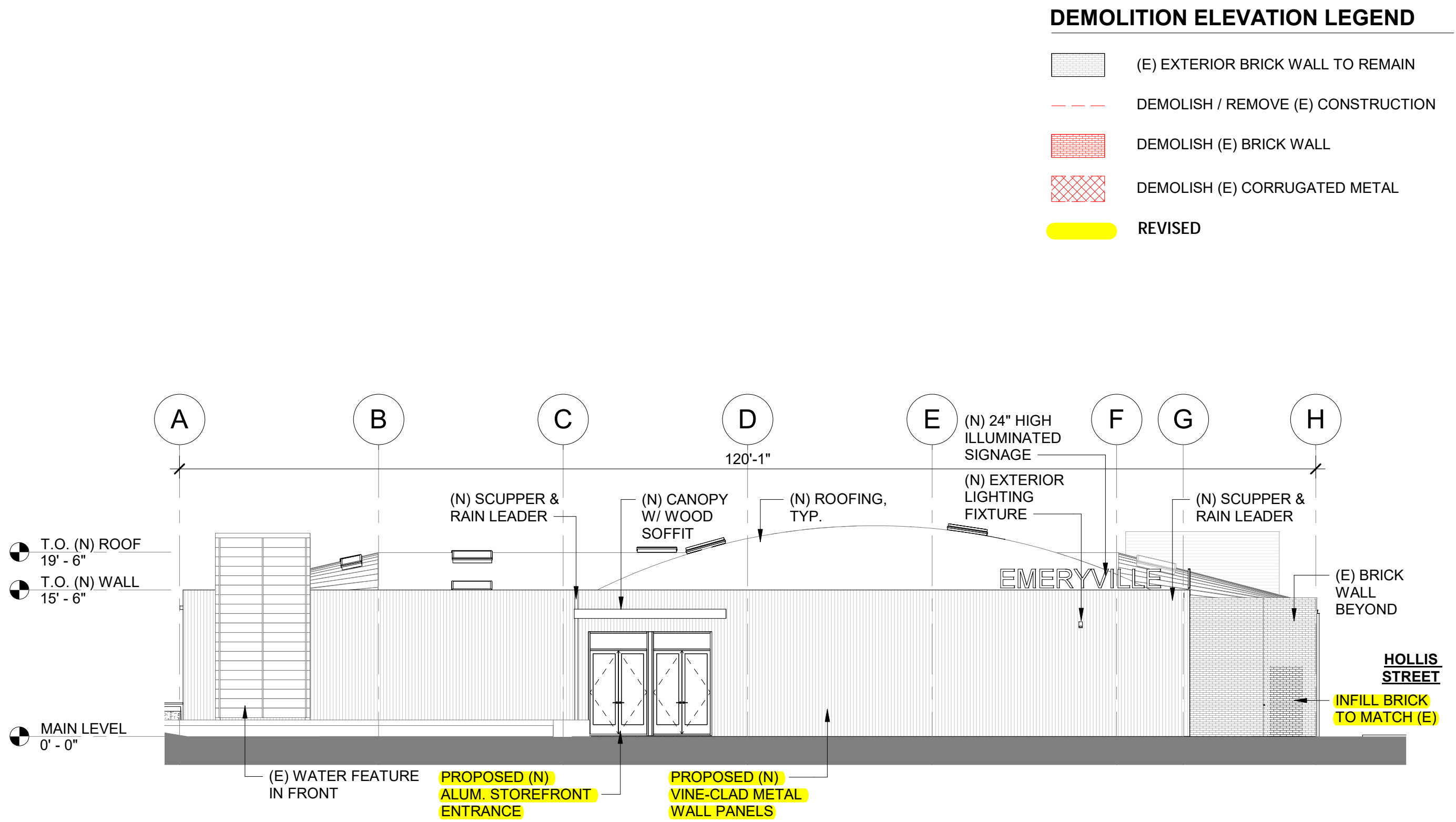
Developer

4060 HOLLIS STREET, LLC

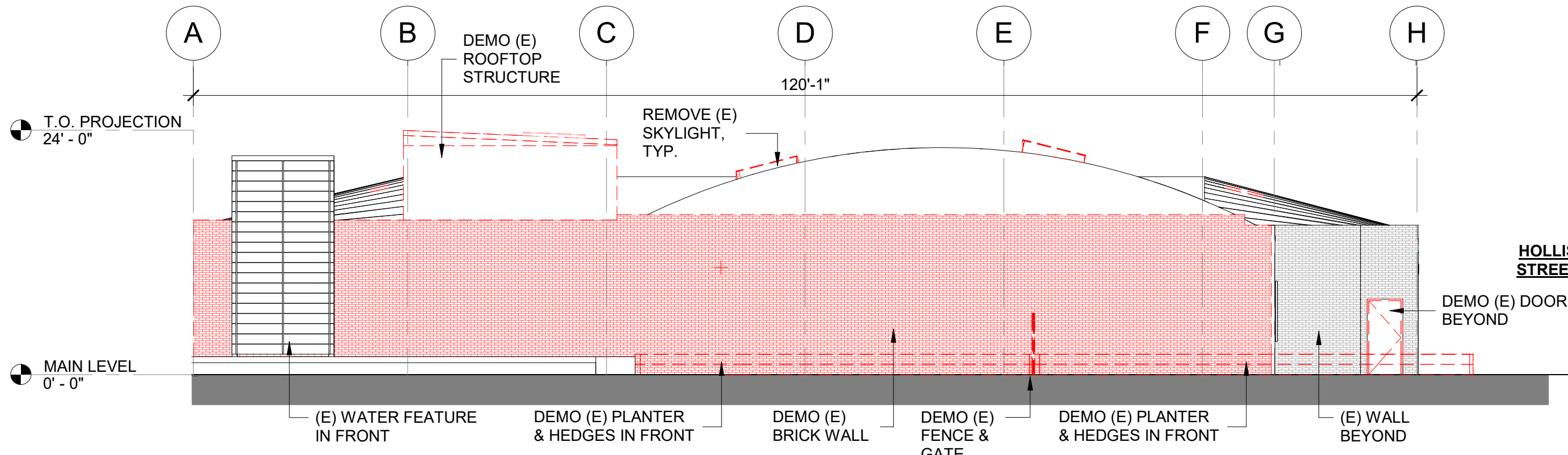
1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



3 PROPOSED BUILDING ELEVATION - NORTH  
3/32" = 1'-0"



2 DEMOLITION ELEVATION - NORTH  
3/32" = 1'-0"



1 EXISTING ELEVATION - NORTH

Stamp

Issues/ Revisions

Date

Schematic Design

Progress Date

04/05/2021

Architect's Project No.

1819R

Sheet Name

**NORTH ELEVATION -  
EXISTING &  
PROPOSED**

Sheet No.

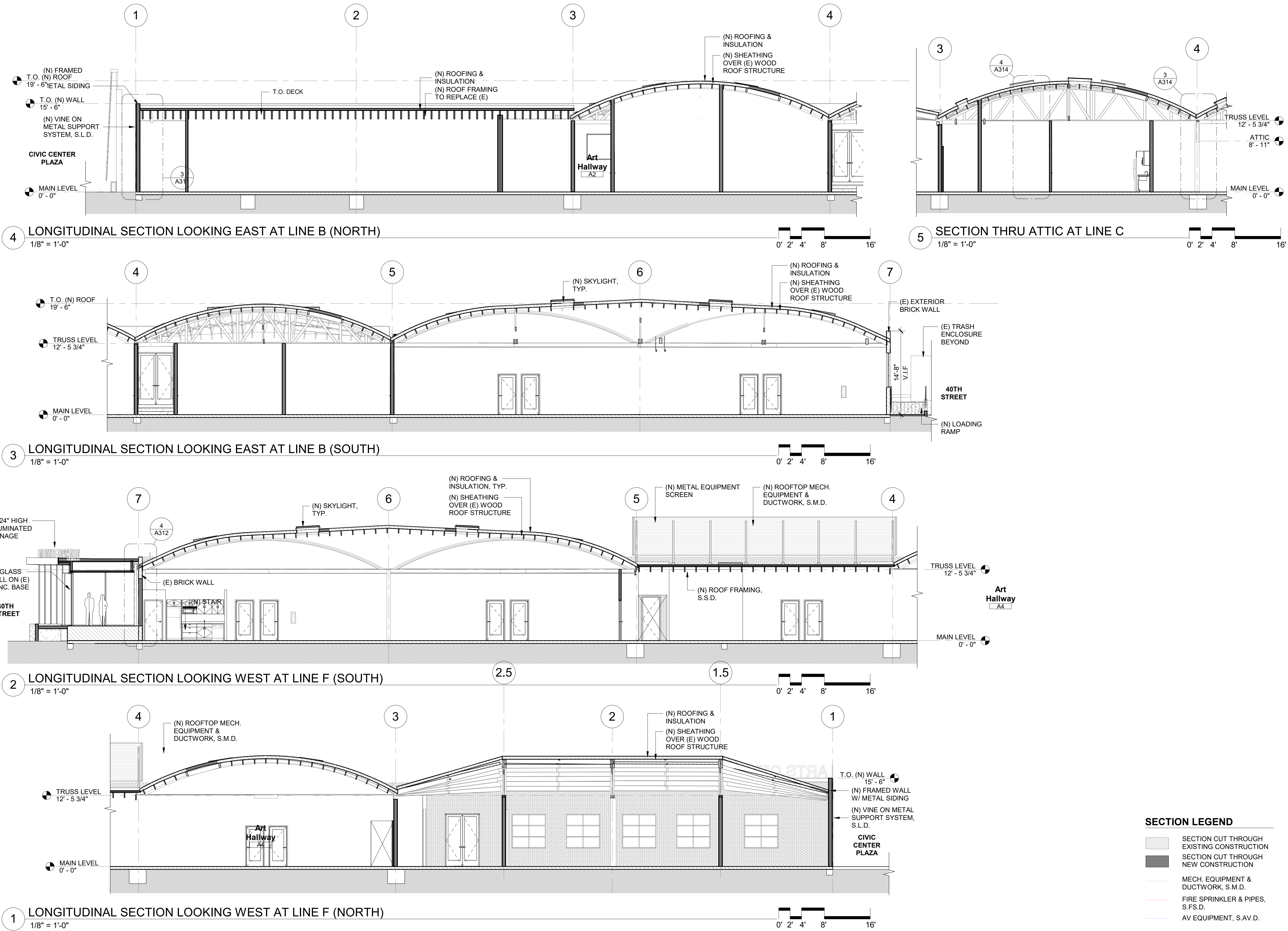
**A204**

Scale at Sheet Size 22"x34"

3/32" = 1'-0"



6/14/2021 10:11:50 AM



Client

**CITY OF  
EMERYVILLE  
CALIFORNIA**



Project Name & Address

**EMERYVILLE ARTS CENTER**

Adaptive Reuse of the former  
United Stamping Building

**4060 Hollis Street, Emeryville, CA 94608**

Developer

**4060 HOLLIS STREET, LLC**

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions	Date
Schematic Design	04 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
50% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020
Permit Submittal	31 Aug. 2020

Progress Date	04/05/2021
Architect's Project No.	1819

Sheet Name

## BUILDING SECTIONS

Sheet No.

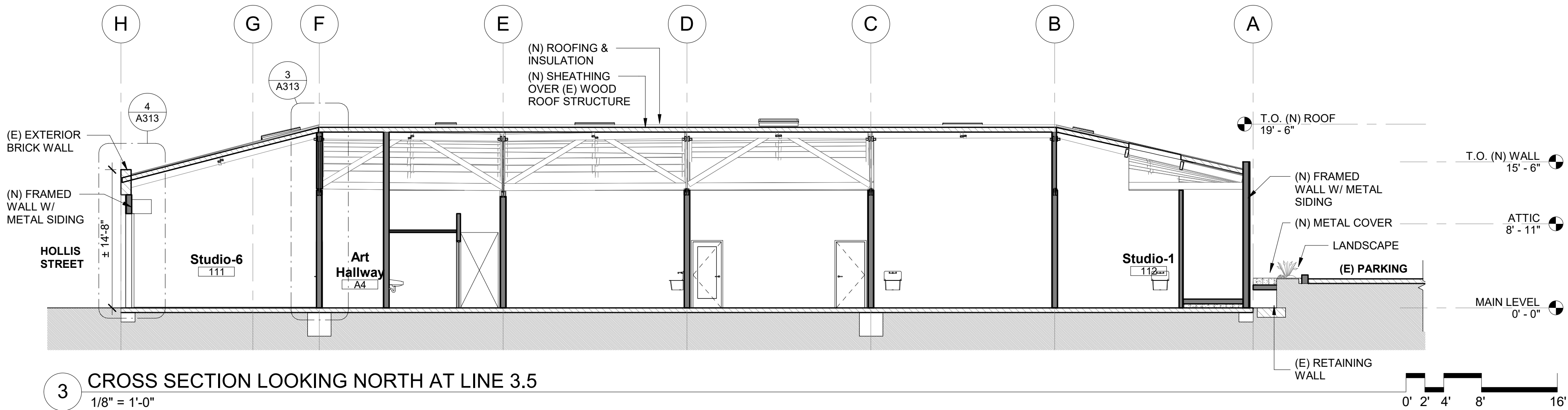
**A301**

Scale at Sheet Size 22"x34"

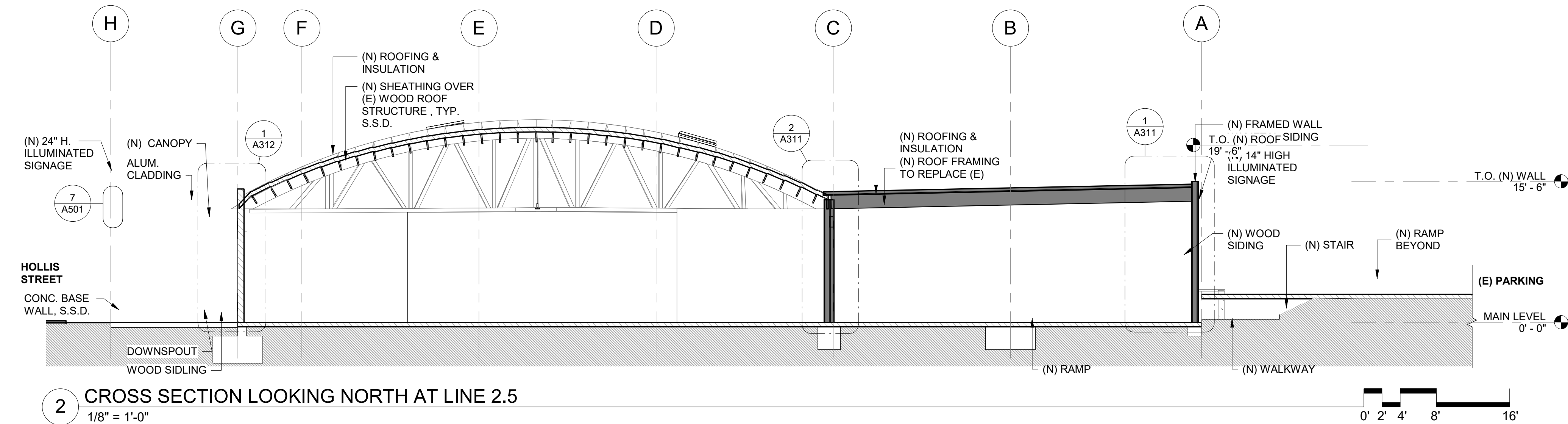
1/8" = 1'-0"



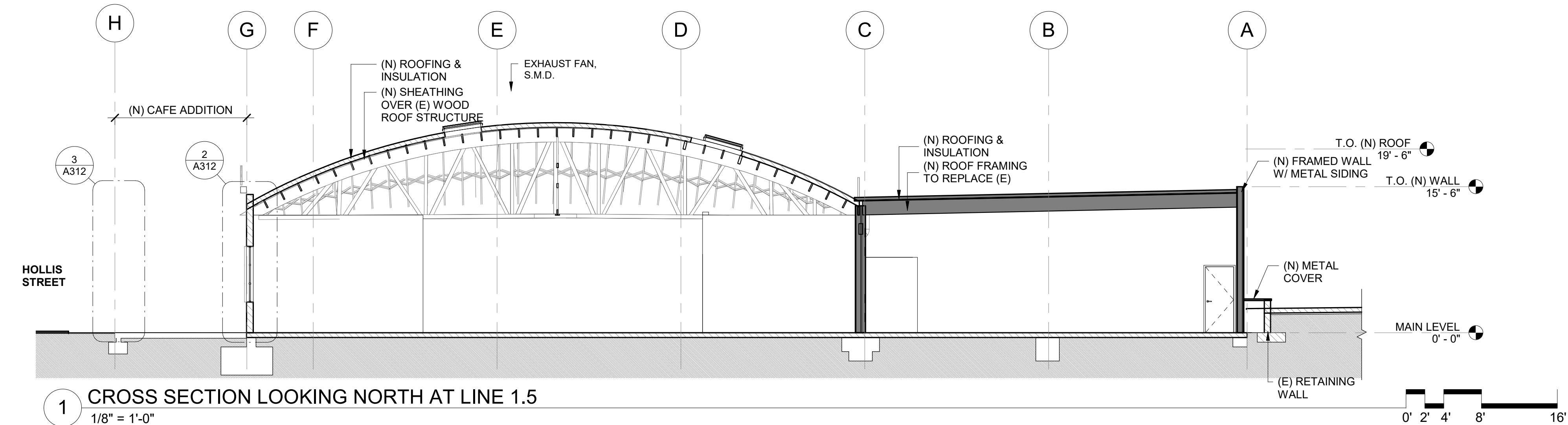
6/14/2021 10:11:52 AM



3 CROSS SECTION LOOKING NORTH AT LINE 3.5  
1/8" = 1'-0"



2 CROSS SECTION LOOKING NORTH AT LINE 2.5  
1/8" = 1'-0"



1 CROSS SECTION LOOKING NORTH AT LINE 1.5  
1/8" = 1'-0"

SECTION LEGEND

- SECTION CUT THROUGH EXISTING CONSTRUCTION
- SECTION CUT THROUGH NEW CONSTRUCTION
- MECH. EQUIPMENT & DUCTWORK, S.M.D.
- FIRE SPRINKLER & PIPES, S.F.S.D.
- AV EQUIPMENT, S.AV.D.

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 HOLLIS STREET, LLC

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions	Date
Schematic Design	04 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
50% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020
Permit Submittal	31 Aug. 2020

Progress Date	04/05/2021
Architect's Project No.	1819

Sheet Name

BUILDING SECTIONS

Sheet No.

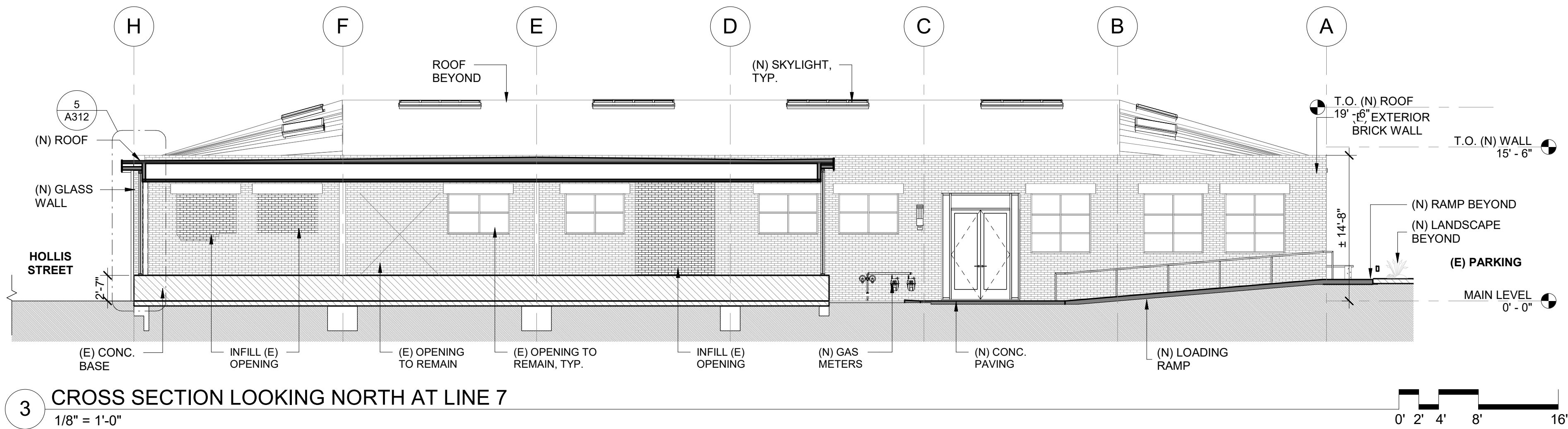
A302

Scale at Sheet Size 22"x34"

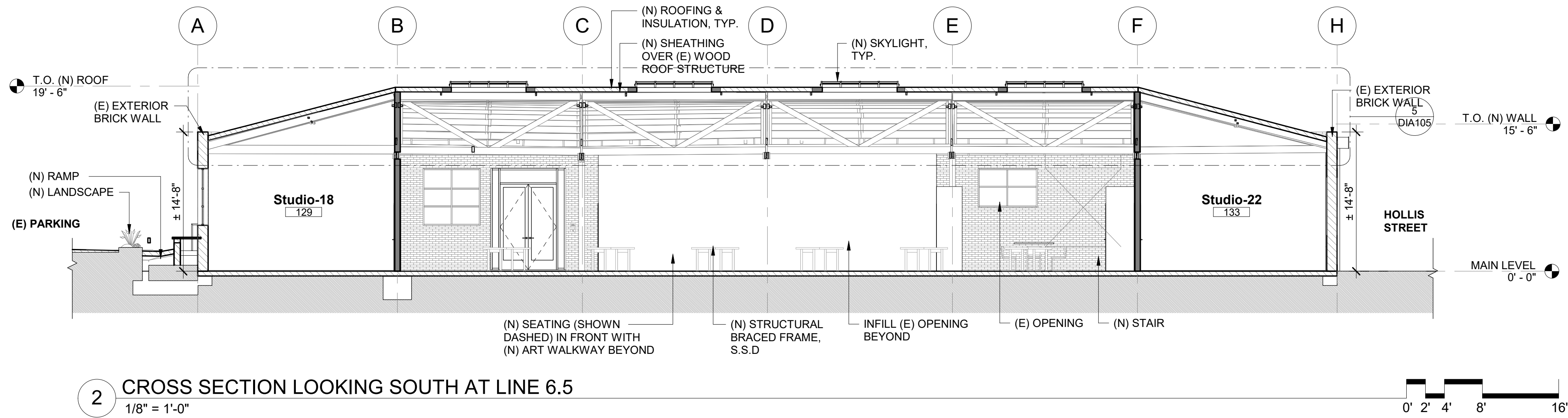
1/8" = 1'-0"



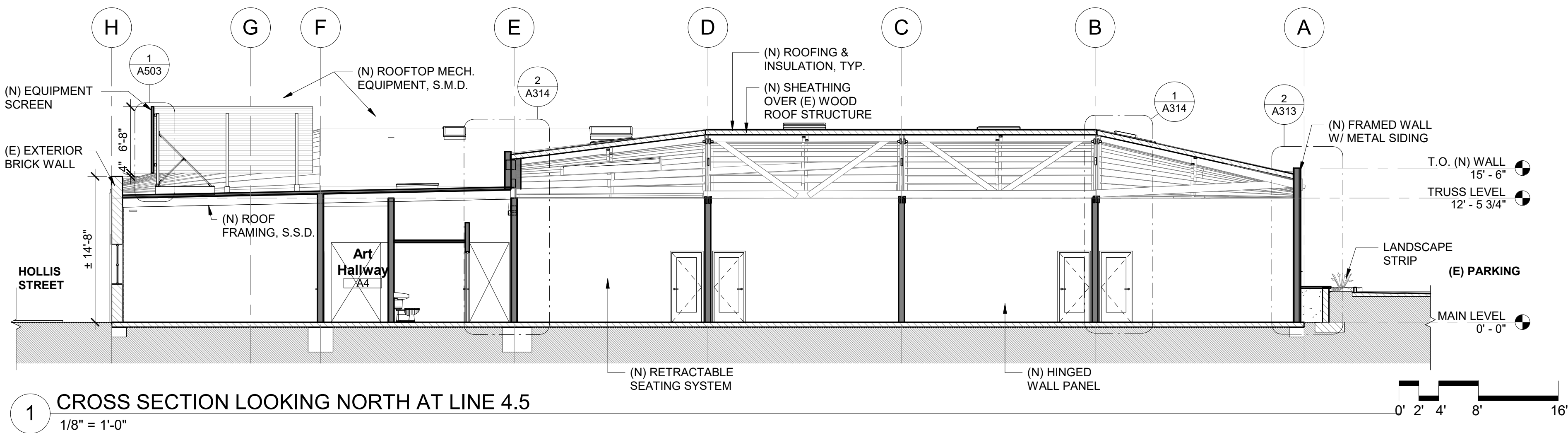
6/14/2021 10:11:58 AM



3 CROSS SECTION LOOKING NORTH AT LINE 7  
1/8" = 1'-0"



2 CROSS SECTION LOOKING SOUTH AT LINE 6.5  
1/8" = 1'-0"



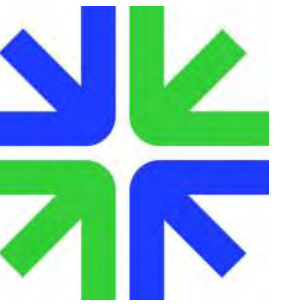
1 CROSS SECTION LOOKING NORTH AT LINE 4.5  
1/8" = 1'-0"

#### SECTION LEGEND

- SECTION CUT THROUGH EXISTING CONSTRUCTION
- SECTION CUT THROUGH NEW CONSTRUCTION
- MECH. EQUIPMENT & DUCTWORK, S.M.D.
- FIRE SPRINKLER & PIPES, S.F.S.D.
- AV EQUIPMENT, S.A.V.D.

Client

**CITY OF EMERYVILLE**  
CALIFORNIA



Project Name & Address

#### EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

**4060 HOLLIS STREET, LLC**

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Stamp

Issues/ Revisions	Date
Schematic Design	04 Dec. 2019
Design Development	31 Jan. 2020
100% Design Development	21 Apr. 2020
50% Construction Documents	01 Jun. 2020
90% Construction Documents	03 Jul. 2020
Permit Submittal	31 Aug. 2020

Progress Date 04/05/2021

Architect's Project No. 1819

Sheet Name

#### BUILDING SECTIONS

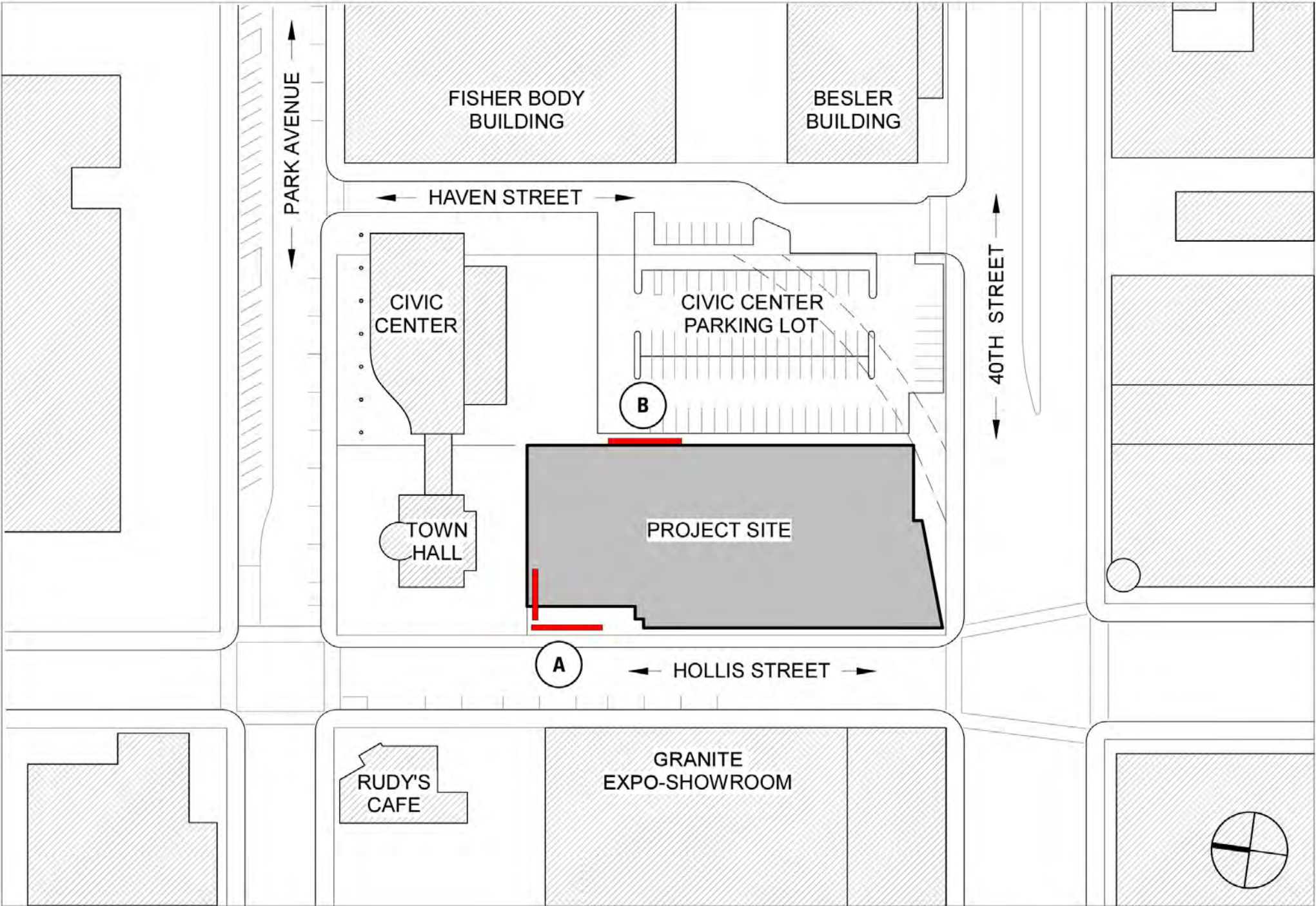
Sheet No.

**A303**

Scale at Sheet Size 22"x34"

1/8" = 1'-0"





1051 46th Avenue  
Oakland, Ca 94601  
T. 510.533.7693  
F. 510.533.0815  
www.arrowsigncompany.com

Project  
**Emeryville Arts Center**  
4060 Hollis Street  
Emeryville, CA 94608

Date:  
4-2-20

Sales:  
☐ Pete Fagerlin

Design:  
☐ Peter Matsukawa

File Name/Location:  
2019/E/Emeryville Arts Center

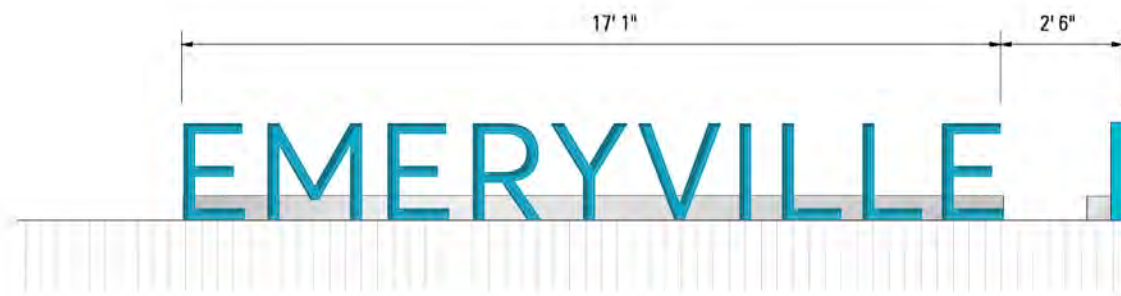
Rev.	Date	Description
A	5-7-20	Revise Sign B location
B	6-15-21	Delete sign

Customer Approval

This drawing is a representation of colors and may not accurately depict final color of product. Refer to paint swatch or material samples for color reference.

**ALL RIGHTS RESERVED**  
This is an original unpublished drawing prepared for you by Arrow Sign Co. in a sign program designed for your business. It is not to be shown to anyone outside of your organization nor to be reproduced, copied or exhibited in any fashion.





A

SIGN ELEVATION

SCALE: 1/4" = 1'-0"

One (1) set of open pan letters w/ exposed neon on a wireway

ITEM	DESCRIPTION	VENDOR	SPECIFICATION
Letters	3" deep open pan aluminum	Matthews	Cyan PMS 3115 C, satin
Illumination	Double tube neon	EGL	E-20 Turquoise/Argon
Wireway	6" x 6" aluminum	Matthews	To match building

- GENERAL NOTES**
1. All work is compliant to 2019 CBC and Part 600 CEC 2019 codes
  2. (1) 120v 20amp dedicated circuit required; existing or provided by others



A

SIGN ELEVATION - TYPICAL

SCALE: 1/4" = 1'-0"



1051 46th Avenue  
Oakland, Ca 94601  
T. 510.533.7693  
F. 510.533.0815  
www.arrowsigncompany.com

Project

**Emeryville Arts Center**  
4060 Hollis Street  
Emeryville, CA 94608

Date:  
4-2-20

Sales:  
☐ Pete Fagerlin

Design:  
☐ Peter Matsukawa

File Name/Location:  
2019/E/Emeryville Arts Center

Rev.	Date	Description
A	4-13-20	Revise color
B	4-22-20	Revise font
C	5-19-20	Add sheet #
D	6-15-21	Revise location, layout

Customer Approval

This drawing is a representation of colors and may not accurately depict final color of product. Refer to paint swatch or material samples for color reference.

**ALL RIGHTS RESERVED**  
This is an original unpublished drawing prepared for you by Arrow Sign Co. in a sign program designed for your business. It is not to be shown to anyone outside of your organization nor to be reproduced, copied or exhibited in any fashion.





1051 46th Avenue  
Oakland, Ca 94601  
T. 510.533.7693  
F. 510.533.0815  
www.arrowsigncompany.com

Project  
**Emeryville Arts Center**  
4060 Hollis Street  
Emeryville, CA 94608

Date:  
4-2-20

Sales:  
☐ Pete Fagerlin

Design:  
☐ Peter Matsukawa

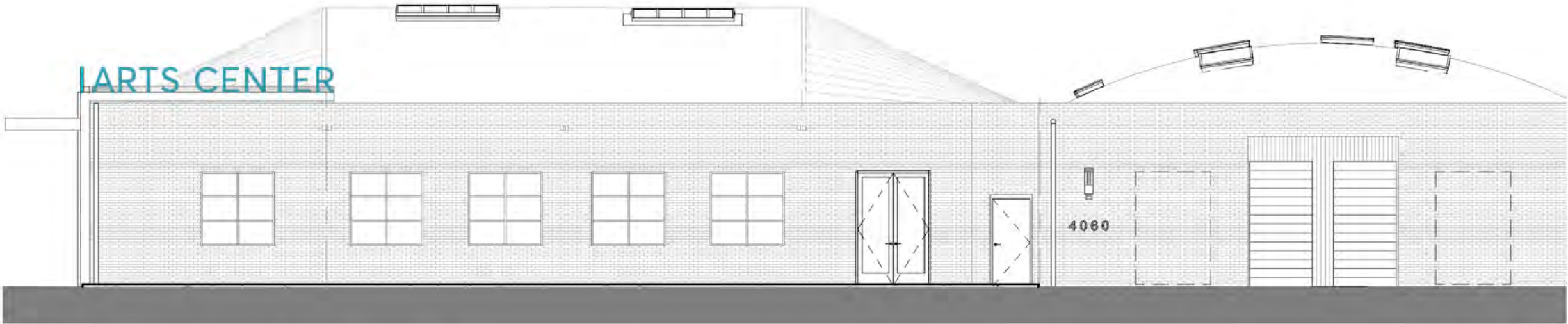
File Name/Location:  
2019/E/Emeryville Arts Center

Rev.	Date	Description
A	4-13-20	Revise color
B	4-22-20	Revise font
C	5-19-20	Revise photo
D	7-24-20	Revise photo & elevation
E	6-15-21	Revise location, elevation

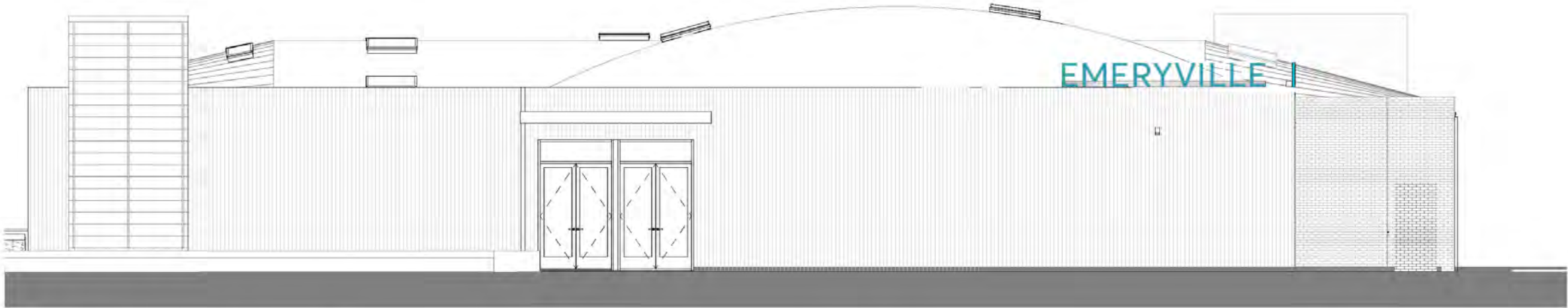
Customer Approval

This drawing is a representation of colors and may not accurately depict final color of product. Refer to paint swatch or material samples for color reference.

**ALL RIGHTS RESERVED**  
This is an original unpublished drawing prepared for you by Arrow Sign Co. in a sign program designed for your business. It is not to be shown to anyone outside of your organization nor to be reproduced, copied or exhibited in any fashion.



**A PARTIAL WEST BUILDING ELEVATION** SCALE: 3/32" = 1'-0"



**A NORTH BUILDING ELEVATION** SCALE: 3/32" = 1'-0"





**B SIGN ELEVATION** SCALE: 3/8" = 1'-0"

One (1) set of open pan letters w/ exposed neon.

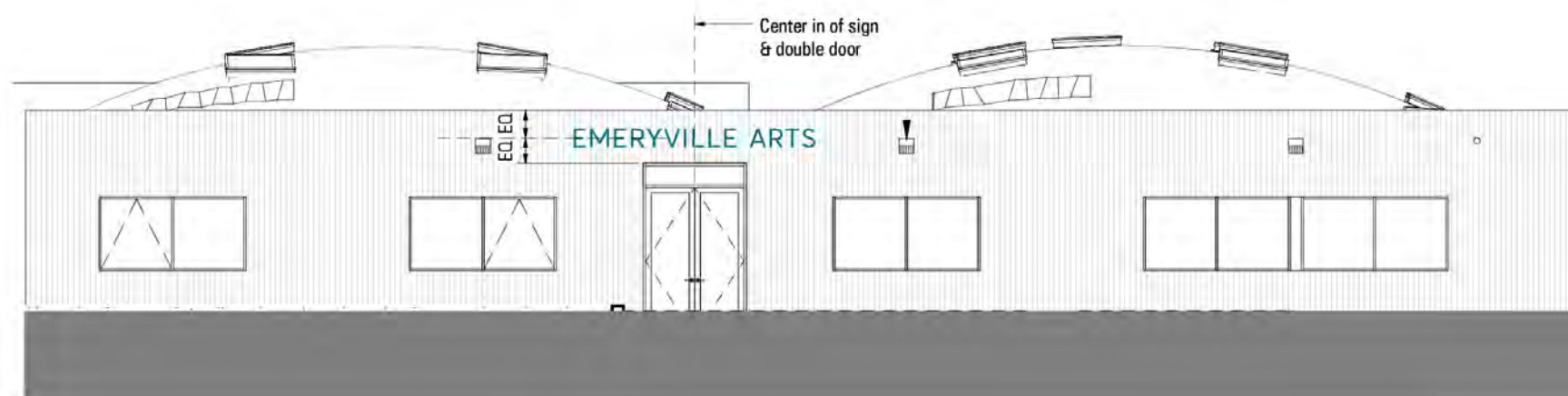
ITEM	DESCRIPTION	VENDOR	SPECIFICATION
Letters	3" deep open pan aluminum	Matthews	Cyan PMS 3115 C, satin
Illumination	Single tube neon	EGL	E-20 Turquoise/Argon

**GENERAL NOTES**

1. All work is compliant to 2019 CBC and Part 600 CEC 2019 codes
2. (1) 120v 20amp dedicated circuit required; existing or provided by others



**B SIGN ELEVATION - NIGHT** SCALE: 3/8" = 1'-0"



**B PARTIAL EAST BUILDING ELEVATION** SCALE: 3/32" = 1'-0"



1051 46th Avenue  
Oakland, Ca 94601  
T. 510.533.7693  
F. 510.533.0815  
www.arrowsigncompany.com

Project

**Emeryville Arts Center**  
4060 Hollis Street  
Emeryville, CA 94608

Date:

4-2-20

Sales:

☐ Pete Fagerlin

Design:

☐ Peter Matsukawa

File Name/Location:

2019/E/Emeryville Arts Center

Rev.	Date	Description
A	4-13-20	Revise color
B	4-22-20	Revise font
C	6-15-21	Revise location, elevation

Customer Approval

This drawing is a representation of colors and may not accurately depict final color of product. Refer to paint swatch or material samples for color reference.

**ALL RIGHTS RESERVED**  
This is an original unpublished drawing prepared for you by Arrow Sign Co. in a sign program designed for your business. It is not to be shown to anyone outside of your organization nor to be reproduced, copied or exhibited in any fashion.

Design #91109

**FN4**



PLANTING LEGEND - EMERYVILLE ARTS CENTER														
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE (A)	REFERENCE (A)	ADJACENT TO OBSTRUCTION?	PROJECT SPREAD (B)	MIN-MAX SPREAD (C)	MIN-MAX HEIGHT	REFERENCE BOOK (C)	INVASIVE (D)	INVASIVE (E)	NATIVE
TREES														
1		OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	L	WUCOLS	N	25'	25'	25'	SUNSET	N	N	N
SHRUBS AND VINES														
53		HESPERALOE PARVIFLORA 'DESERT FLAMENCO'	RED YUCCA	5 GAL	L	WUCOLS	Y	3'	3'-4'	3'-4'	SUNSET	N	N	N
2		ROSA 'BONICA'	BONICA ROSE	5 GAL	M	WUCOLS	Y	4'	4'	3'-4'	DAVID AUSTIN	N	N	N
9		FICUS PUMILA	CREEPING FIG	5 GAL	M	WUCOLS	Y	10'	10'	10'	SUNSET	N	N	N
GROUNDCOVER														
360		LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	L	WUCOLS	Y	2.5'	2'-4'	2'-4'	SAN MARCOS GROWERS	N	N	N
47		ARCTOSTAPHYLOS UVA-URSI 'RADIANT'	RADIANT MANZANITA	1 GAL	L	WUCOLS	Y	3'	3'-6'	6"	SUNSET	N	N	Y
TOTAL PLANTS														% NATIVE
472														13%
(A) WATER USE CLASSIFICATION OF LANDSCAPE SPECIES PUBLISHED BY THE UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION AND THE DEPARTMENT OF WATER RESOURCES (WUCOLS) OR OTHER SOURCES APPROVED BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (DWR).														
(B) THIS IS THE SPREAD OF EACH PLANT AS DRAWN ON THE PROJECT PLANS.														
(C) THIS IS THE SPREAD OF EACH PLANT ACCORDING TO A PUBLISHED THIRD-PARTY REFERENCE.														
(D) PLANTS LISTED AS INVASIVE IN CAL-IPC'S DON'T PLANT A PEST BROCHURE.														
(E) PLANTS LISTED AS INVASIVE IN CAL-IPC'S INVASIVE PLANT INVENTORY.														

LANDSCAPE MATERIALS LEGEND - EMERYVILLE ARTS CENTER				
SYMBOL	DESCRIPTION	DETAIL	MANUFACTURER / MODEL	NOTES
	BICYCLE LOCKERS		MADRAX/2-DOOR MAD BOX, SURFACE MOUNT, COLOR: STAINLESS STEEL	
	BICYCLE RACKS		MADRAX/ORION, SURFACE MOUNT, COLOR: STAINLESS STEEL	

ABBREVIATIONS	
ALIGN	ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
TYPICAL OR TYP	THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR. COMPARABLE CHARACTERISTICS FOR THE CONDITIONS VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
SIMILAR	AT
@	ASPHALT CONCRETE
AC	APPROXIMATE
APPROX	ARCHITECT
ARCH	CENTERLINE
€	CONCRETE
CONC	CONTINUOUS, CONTINUED
CONT	CLEAR
CLR	DECOMPOSED GRANITE
DG	DETAIL
DET	DIAMETER
DIA	EXISTING
(E)	FINISHED GRADE
FG	FINISHED SURFACE
FS	GRADE BREAK
GB	GUIDE LINE
GL	HIGH DENSITY POLYETHYLENE
HDPE	INVERSE
INV	LENGTH
L	LINEAR FOOT
LF	MAXIMUM
MAX	MINIMUM
MIN	ON CENTER
O.C.	OUTSIDE DIAMETER
O.D.	OWNER'S REPRESENTATIVE
O.R.	PROTECT IN PLACE
PP	RADIUS
R	SPECIFICATIONS
SPECS	TYPICAL
TYP	UNLESS OTHERWISE NOTED
UON	

Project Name & Address

EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer  
4060 Hollis Street, LLC  
1475 Powell Street, Suite 101  
Emeryville, CA 94608  
Tel: 510.428.0800 | Fax: 510.428.0802



Landscape Architect



1625 SHATTUCK AVENUE, STE 300  
BERKELEY, CA 94709  
(510) 848.3815 PHONE  
(510) 848.4315 FAX

Stamp



Issues/ Revisions	Date
Schematic Design	
Progress Date	04/05/2021
Architect's Project No.	1819R
Sheet Name	

PLANTING AND  
MATERIALS LEGEND

Sheet No.

L100

Scale at Sheet Size 34"x22"



**EMERYVILLE ARTS CENTER**

## Adaptive Reuse of the former United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

**4060 Hollis Street, LLC**

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Landscape Architect



1625 SHATTUCK AVENUE, STE 300

BERKELEY, CA 94709

(510) 848.3815 PHONE

(510) 848.4315 FAX

Stamp



Issues/ Revisions	Date
-------------------	------

## Schematic Design

---

Progress Date 04/05/2021

Architect's Project No. 1819R

Sheet Name

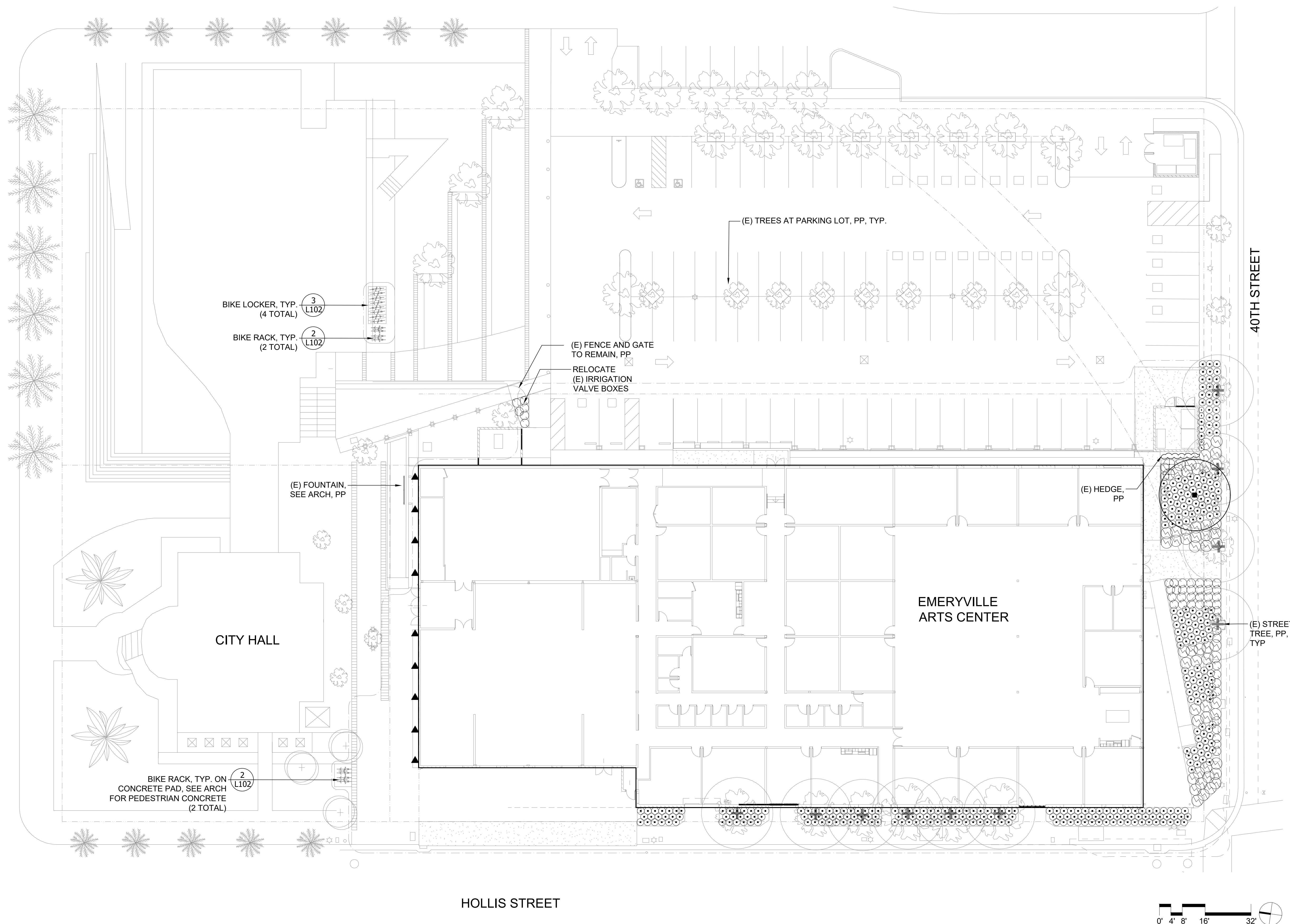
LANDSCAPE AND  
PLANTING PLAN

Sheet No.

L101

SCALE: 1/16" = 1'-0"

Scale at Sheet Size 34"x22"



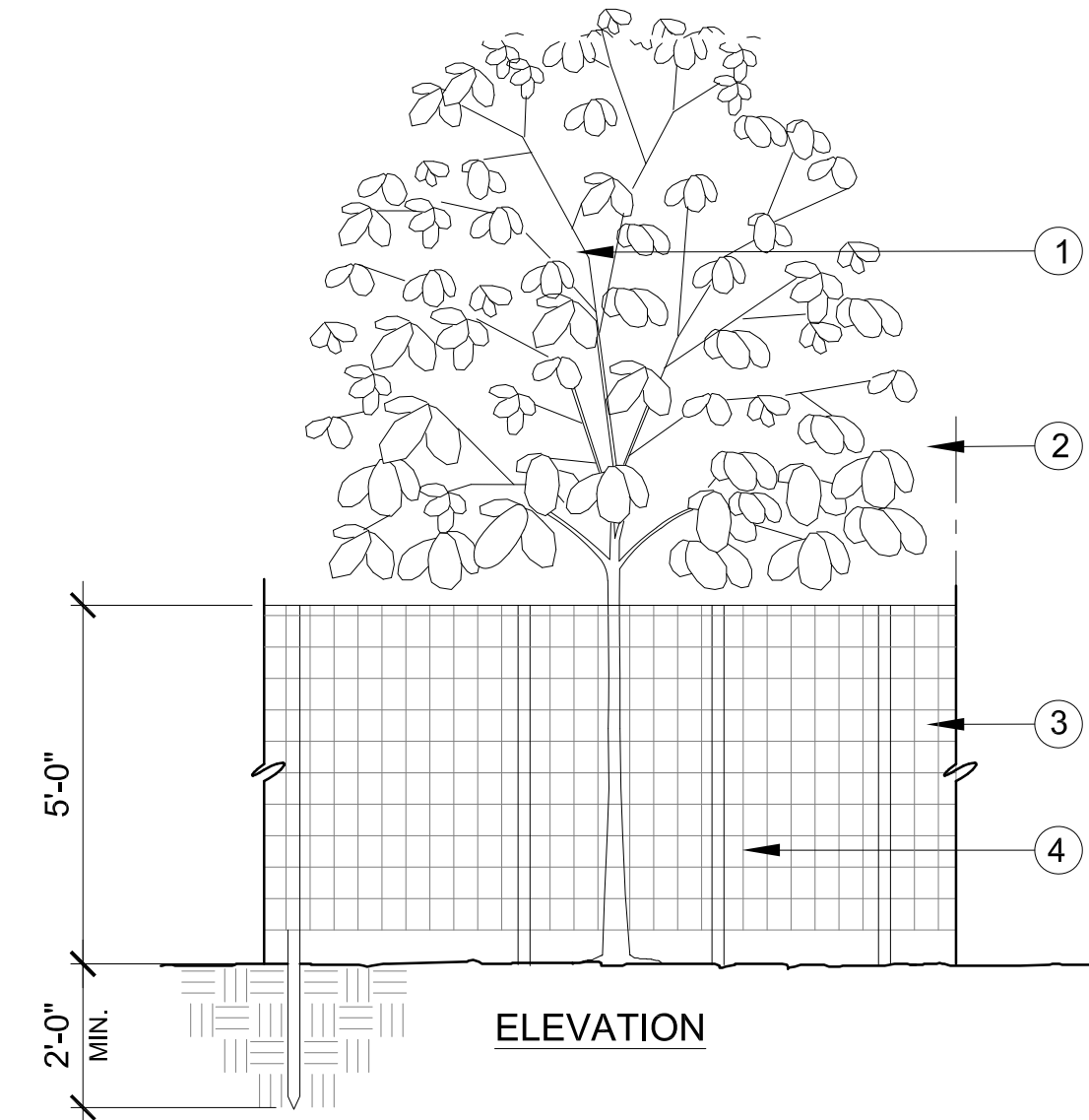


PLANTING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO TRENCHING FOR IRRIGATION, DIGGING PLANT HOLES, ETC., INCLUDING LOCATIONS OF PROPOSED UTILITIES, AREA DRAINS, MANHOLES, AND VAULTS, AS INDICATED ON THE PROJECT SURVEY AND ANY CIVIL UTILITY PLANS. FOR MARKING UNDERGROUND FACILITIES, CALL UNDERGROUND SERVICE ALERT MINIMUM TWO DAYS PRIOR TO DIGGING. 1-800-227-2600, BETWEEN 6:00AM - 7:00PM, MONDAY - FRIDAY, EXCEPT HOLIDAYS.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH DETAILS AND PROJECT SPECIFICATIONS, WHICH ARE A SEPARATE 8 1/2 x 11 DOCUMENT. IT IS THE RESPONSIBILITY OF THE PLANTING AND IRRIGATION CONTRACTORS TO OBTAIN SPECIFICATIONS IF NOT PROVIDED INITIALLY WITH THESE DRAWINGS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS, INCLUDING MATERIALS SUBMITTALS AND INSPECTIONS AND SOIL PREPARATION.
3. IF CONFLICTS ARISE AT PLANT LOCATION TIME, CITY TO BE CONSULTED FOR ADJUSTMENTS PRIOR TO INSTALLATION. ADJUSTMENTS TO BE MADE BY CONTRACTOR AT NO ADDITIONAL COST.
4. PRIOR TO PLANT INSTALLATION, CLEAR ALL PLANTING AREAS OF DEBRIS. SEE SPECS.
5. PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY, SHALL HAVE NORMAL HABITS OF GROWTH, BE HEALTHY AND HAVE IDENTIFYING NURSERY TAGS ON EACH PLANT DELIVERED TO THE SITE.
6. NO SUBSTITUTE PLANT MATERIALS WILL BE PERMITTED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. SUBMIT PROPOSED PLANT LIST FROM NURSERY PRIOR TO DELIVERY. NO PLANT SUBSTITUTIONS MAY BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. PLANT LOCATIONS TO BE LAID OUT SO AS NOT TO INTERRUPT ESTABLISHED GRADING AND DRAINAGE PATTERNS.
8. SPACE GROUNDCOVERS EVENLY AS INDICATED ON DRAWINGS, STAGGERING SPACES AROUND SHRUBS AND TREES AS WELL AS OPEN AREAS.
9. NO PLANTING SHALL COMMENCE UNTIL IRRIGATION SYSTEM IS FULLY INSTALLED AND OPERATIONAL, EXCEPT FOR IN-LINE DRIP IRRIGATION WHICH IS INSTALLED POST-PLANTING.
10. OWNER'S REPRESENTATIVE HAS THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED UNACCEPTABLE.
11. PLANTING AND PLANTING OPERATIONS WHICH COULD ENDANGER PUBLIC SAFETY BY OBSTRUCTING THE VISION OF PUBLIC TRAFFIC OR CONFLICTING WITH THE SAFE FUNCTION OF UTILITY WIRES WILL NOT BE PERMITTED IN THE PUBLIC RIGHT OF WAY.
12. FINISHED GRADE FOR PLANTING AREAS VARIES. SEE DETAILS. THE OWNER'S REPRESENTATIVE SHALL REVIEW AND APPROVE ALL FINISH SOIL ELEVATIONS. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS DIRECTED IN THE FIELD BY OWNER'S REPRESENTATIVE. SUCH WORK SHALL BE CONSIDERED INCLUDED IN CONTRACTOR'S FIXED CONTRACT.
13. ALL SHRUBS AND GROUNDCOVER SHALL BE SET 1/2 THE DIMENSION OF THEIR SPECIFIED SPACING FROM ADJACENT WALKS, CURBS AND WALLS UNLESS OTHERWISE SHOWN. OFFSET DISTANCE WILL BE FIELD-CHECKED BY LANDSCAPE ARCHITECT AND CORRECTED IF REQUIRED. ALL SHRUBS AND GROUNDCOVER SPACING SHALL BE TRIANGULAR UNLESS DRAWN OTHERWISE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY DAMAGE OR DESTRUCTION TO EXISTING PLANT MATERIALS AND TO RESTORE THE SAME SPECIES TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
15. DURING PLANTING OPERATIONS, FURNISH AND INSTALL SHEET MULCH, INCLUDING 3" DEPTH OF WOOD MULCH, OVER ALL NEW SHRUB, GROUNDCOVER, PERENNIAL AND GRASSES AREAS. SUBMIT WOOD MULCH SAMPLE FOR OWNER'S REPRESENTATIVE'S APPROVAL PRIOR TO DELIVERY TO THE PROJECT SITE. SEE SPECIFICATIONS FOR MORE INFORMATION.
17. PLANT COUNTS ARE FOR CONTRACTOR'S CONVENIENCE ONLY, WHERE DISCREPANCY OCCURS, PLAN GOVERNS.
18. PLANTING SHALL BE PERFORMED ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE.
19. PRIOR TO PLANTING, ALL PLANTED AREAS SHALL PROVIDE POSITIVE DRAINAGE (NO STANDING WATER).
20. ALL PLANTS THAT SETTLE SHALL BE RAISED TO THE CORRECT FINISH GRADE LEVEL PRIOR TO WALK THROUGH WITH OWNER'S REPRESENTATIVE.
21. CONTRACTOR TO IDENTIFY HEDGES TO REMAIN AND VERIFY HARDSCAPE LAYOUT PRIOR TO REMOVING SHRUBS IN RELATED AREAS.
22. CONTRACTOR TO PROVIDE MATERIALS SAMPLES PRIOR TO ORDERING AND WHILE CONSTRUCTION IS UNDERWAY AS NOTED IN SPECIFICATIONS FOR MULCHES, DG, AMENDMENTS AND FERTILIZERS, HEADERS, AND STRUCTURAL SOIL.
23. THIS PROJECT WILL BE RESCAPE RATED. REFER TO THE SPECIFICATIONS FOR RESCAPE REQUIREMENTS, SUBMITTALS, AND RECORD KEEPING RELATED TO DIVERSION OF CONSTRUCTION WASTE.
24. NO CHEMICAL PESTICIDES OR FERTILIZERS WILL BE PERMITTED IN THIS PROJECT.
25. NO PLANTS TREATED WITH NEONICOTINOIDS WILL BE PERMITTED IN THIS PROJECT.

TREE PROTECTION NOTES:

1. SEE SPECS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
2. SEE SPECS FOR WATERING REQUIREMENTS.
3. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
4. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING AREA INCLUDING DURING FENCE INSTALLATION AND REMOVAL. IF MECHANICAL EQUIPMENT IS REQUIRED, INSTALL PROTECTIVE MEASURES TO PREVENT ROOT ZONE COMPACTION.
5. SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITHIN THE TREE PROTECTION AREA.
6. ALL EXISTING TREES TO REMAIN SHALL BE FLAGGED WITH ORANGE MARKERS AROUND THE TRUNK, NO STOCKPILING OF SOIL, OR CONSTRUCTION MATERIALS OF ANY KIND SHALL BE ALLOWED BELOW THE DRIPLINE OF THE TREES, NO DRIVING BELOW THE CANOPY AND OVER EXISTING ROOT SYSTEMS SHALL BE ALLOWED. NO CUTTING OF ROOTS WILL BE ALLOWED WITHOUT REVIEW BY THE ARBORIST FOR STRUCTURAL SIGNIFICANCE. ANY DISTURBED ROOTS SHALL BE REVIEWED BY THE ARBORIST AND OWNER'S REPRESENTATIVE. WHERE EXTENSIVE DAMAGE HAS OCCURRED, OWNER'S REPRESENTATIVE WILL MAKE A DETERMINATION IF THE TREE MUST BE REPLACED AS INDICATED IN SPECIFICATION SECTION 32 90 00, OR WHETHER AREAS SHALL BE CLEANED AND PRUNED BY THE ARBORIST, AND BARK DAMAGES SHALL BE TRACED TO AID HEALING OF THE BARK. ALL TREES SHALL BE HAND WATERED WEEKLY, AND MONITORED BY THE ARBORIST. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DIRECTIONS FROM THE ARBORIST ON CORRECTIVE MEASURES. FOR ADDITIONAL NOTES REGARDING THE CARE OF EXISTING TREES, REFER TO DEMOLITION PLANS FOR TREES IDENTIFIED FOR REMOVAL AND PRESERVATION.



- NOTES:
1. EXISTING TREE TO REMAIN
  2. PROTECTIVE FENCING TO BE PLACED PER FIELD REVIEW AND EXTEND 5' FROM TRUNK OF PROTECTED TREE AS FEASIBLE.
  3. STEEL STAKE, 6'-0" O.C. MAX.
  4. SNOW FENCING

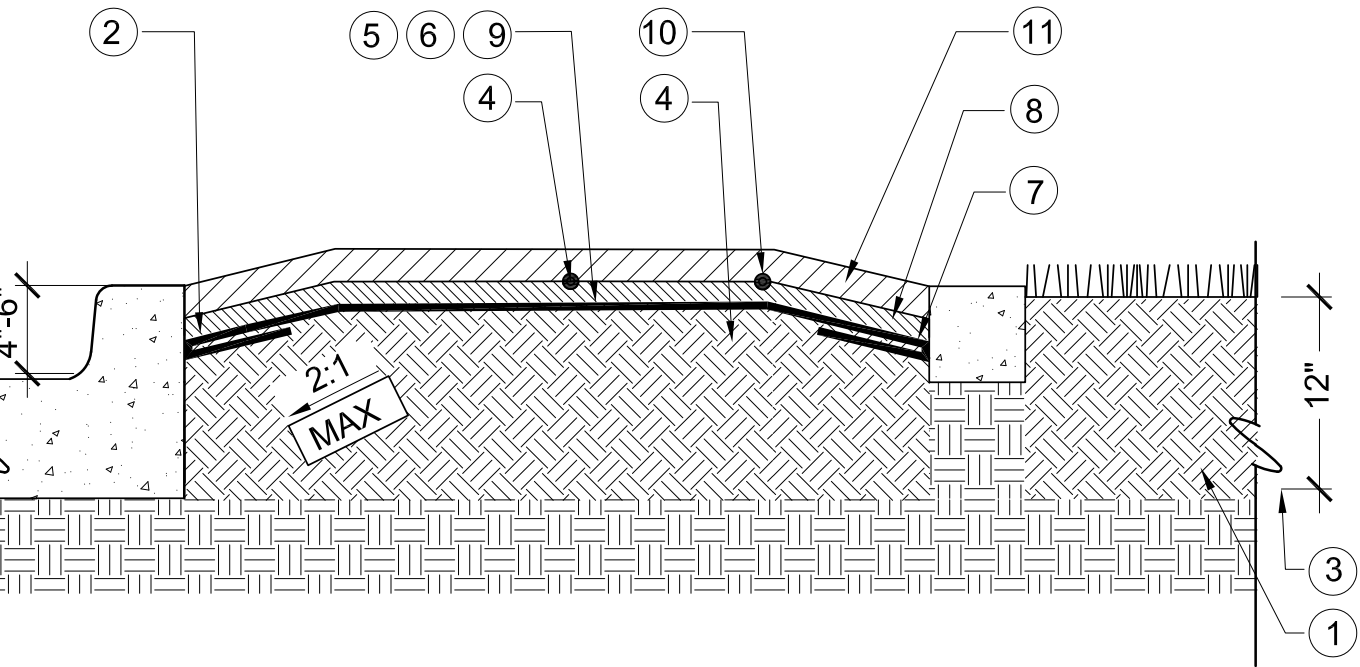
## 8 TREE PROTECTION

SCALE: 3/8" = 1'-0"



## 7 VINE-CLAD WALL

SCALE: NTS



INSTRUCTIONS FOR SHEET MULCH FOR PRE-EMERGENT:

1. TEST SOIL AND OBTAIN RECOMMENDATIONS FOR COMPOST AND ORGANIC FERTILIZERS TO BRING ORGANIC MATTER TO 6%. SEE SPECS FOR MORE INFO.
2. GRADE FINISHED GRADES ADJACENT TO HARDSCAPES 4"-6" TO ALLOW ROOM FOR SHEET MULCH.
3. SCARIFY SOIL TO A DEPTH OF 12" LOOSENED SOIL. DO NOT SCARIFY WITHIN DRIPLINE OF EXISTING TREES TO REMAIN.
4. SHRUB, TREE AND GROUNDCOVER AREAS: INCORPORATE 3 CY/1000 SF QUALITY ORGANIC COMPOST. MIX TO A DEPTH OF 6". SEE SPECS.
5. PLANT TREES, SEE DETAIL 1, SHEET L103.
6. PLANT 5 GALLON AND LARGER PLANT MATERIAL, SEE DETAIL 4, SHEET L103.
7. APPLY TWO (2) LAYERS OF RECYCLED FLUTE B CARDBOARD
  - a. WET CARDBOARD WHILE APPLYING TO PREVENT IT FROM BLOWING AWAY
  - b. OVERLAP CARDBOARD A MINIMUM OF 12 INCHES
  - c. APPLY THE TWO LAYERS OF CARDBOARD PERPENDICULAR TO ONE ANOTHER TO ENHANCE WEED PROTECTION
  - d. CARDBOARD SHALL ABUT DIRECTLY AGAINST EDGE OF PAVEMENT, CURBS, BOULDERS OR OTHER SITE FEATURES. FOLD EXCESS CARDBOARD UNDER ITSELF TO AVOID CUTTING
  - f. AVOID WALKING ON WET CARDBOARD. TEARS IN CARDBOARD WILL NOT BE ACCEPTED.
  - g. RECYCLE ALL CARDBOARD SCRAPS
8. APPLY AN ADDITIONAL 3 CY/1000 SF QUALITY ORGANIC COMPOST ON TOP OF CARDBOARD. SEE SPECS FOR COMPOST.
9. PLANT 1 GALLON SHRUBS, SEE DETAIL 1, SHEET L103.
10. LAY OUT DRIP LINES ON TOP OF COMPOST LAYER.
11. APPLY 3" LOCAL RECYCLED MULCH.

## 6 SHEET MULCH FOR PRE-EMERGENT

SCALE: 1" = 1'-0"



MANUFACTURER:  
MADRAX  
MODEL: 2-DOOR MAD BOX,  
SURFACE MOUNT

## 4 BIKE LOCKER

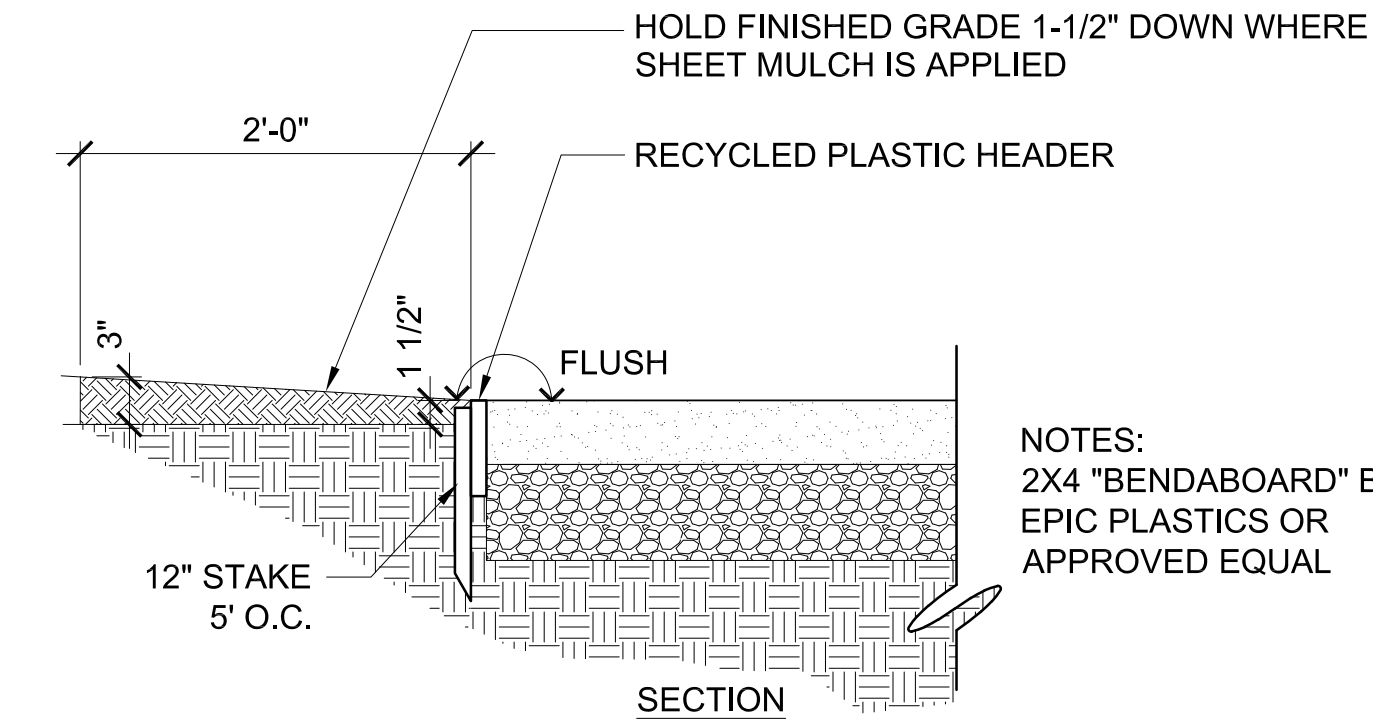
SCALE: NTS



MANUFACTURER:  
MADRAX  
MODEL: ORION,  
SURFACE MOUNT

## 3 BIKE RACK

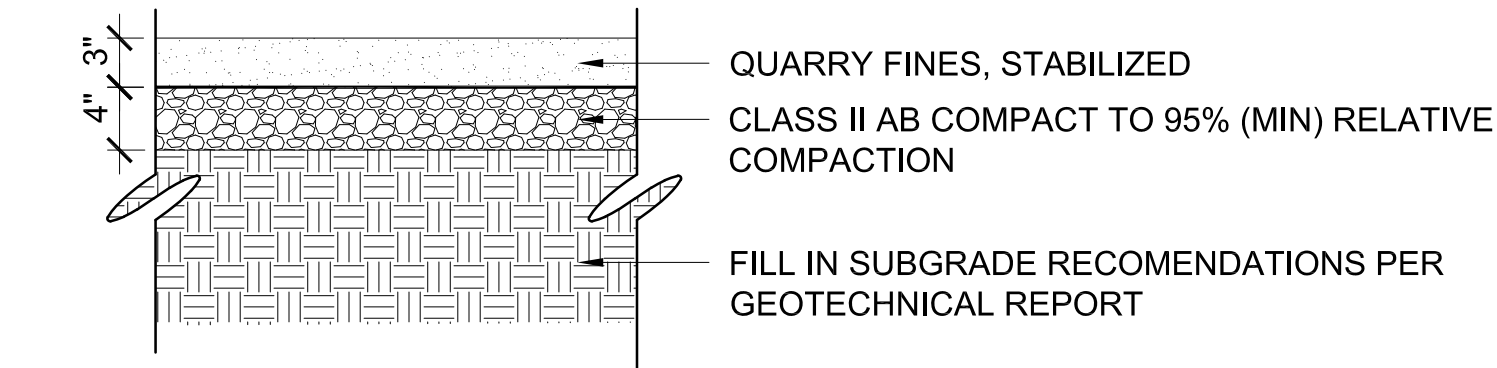
SCALE: NTS



NOTES:  
2X4 "BENDABOARD" BY  
EPIC PLASTICS OR  
APPROVED EQUAL

## 2 RECYCLED PLASTIC HEADER

SCALE: 1" = 1'-0"

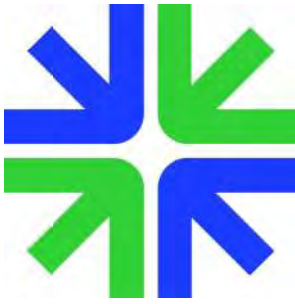


## 1 DECOMPOSED GRANITE PAVING

SCALE: 1" = 1'-0"

Client

CITY OF  
EMERYVILLE  
CALIFORNIA



Project Name & Address

## EMERYVILLE ARTS CENTER

Adaptive Reuse of the former  
United Stamping Building

4060 Hollis Street, Emeryville, CA 94608

Developer

4060 Hollis Street, LLC

1475 Powell Street, Suite 101

Emeryville, CA 94608

Tel: 510.428.0800 | Fax: 510.428.0802



Landscape Architect

PLACEWORKS

1625 SHATTUCK AVENUE, STE 300

BERKELEY, CA 94709

(510) 848.3815 PHONE

(510) 848.4315 FAX

Stamp



Issues/ Revisions	Date
90% Construction Documents	03 Jul. 2020
Planning Commission Approval	31 Jul. 2020
Planning Commission Approval	20 Aug. 2020

Progress Date	04/05/2021
Architect's Project No.	1819

Sheet Name

## LANDSCAPE DETAILS

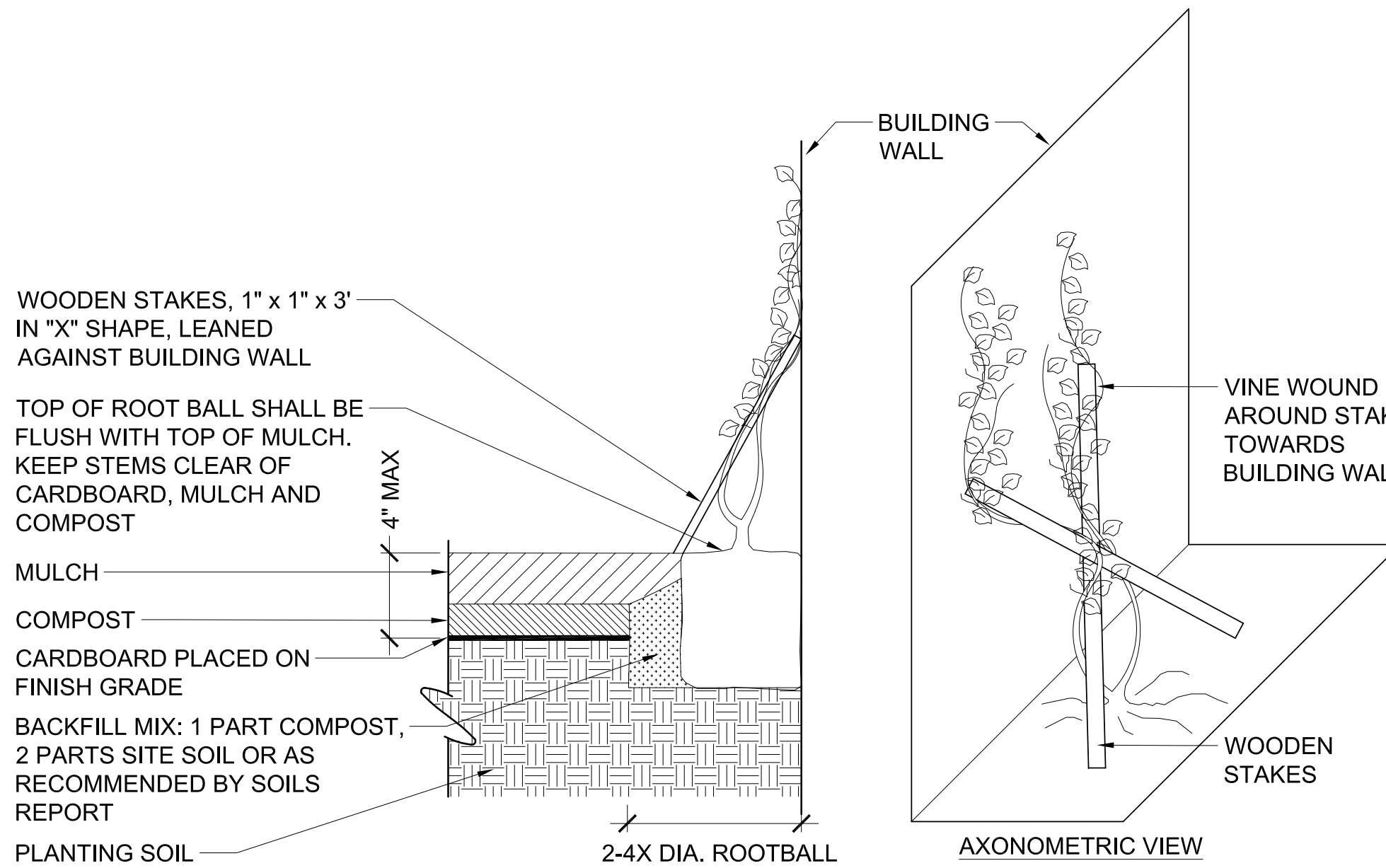
Sheet No.

# L102

SCALE: AS NOTED

Scale at Sheet Size 34"x22"

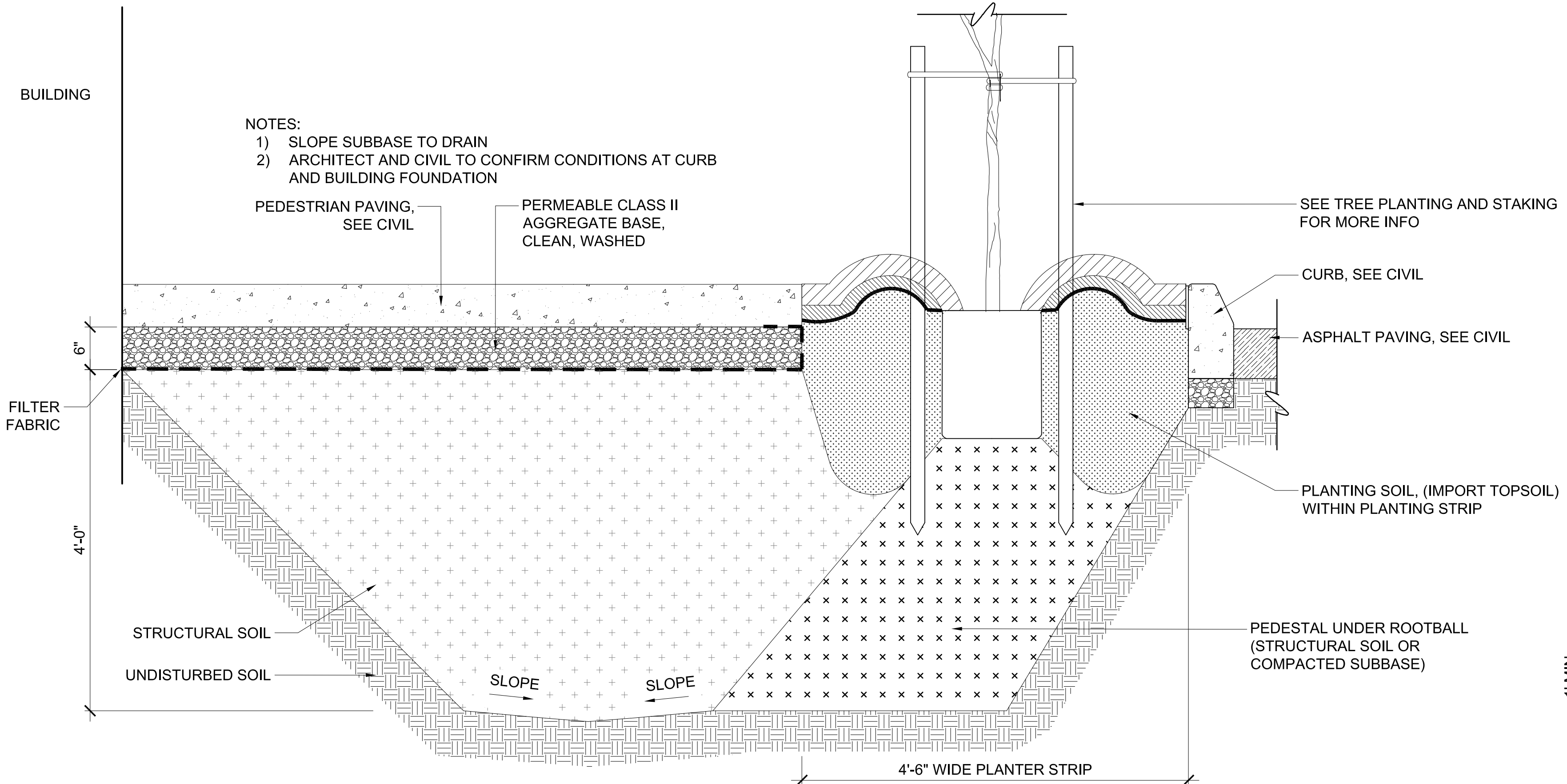




- NOTE :
1. SEE SHEET MULCH FOR PRE-EMERGENT FOR SHEET MULCH DETAILS INCLUDING INSTRUCTIONS AND QUANTITIES.
  2. ONE GALLON:INSTALL PLANTS AFTER SHEET MULCH CARDBOARD IS INSTALLED. CUT HOLES IN CARDBOARD TO PLANT.
  3. FIVE GALLON: INSTALL PLANTS BEFORE SHEET MULCH CARDBOARD IS INSTALLED.

### 5 VINE PLANTING

SCALE: 1 1/2" = 1'-0"

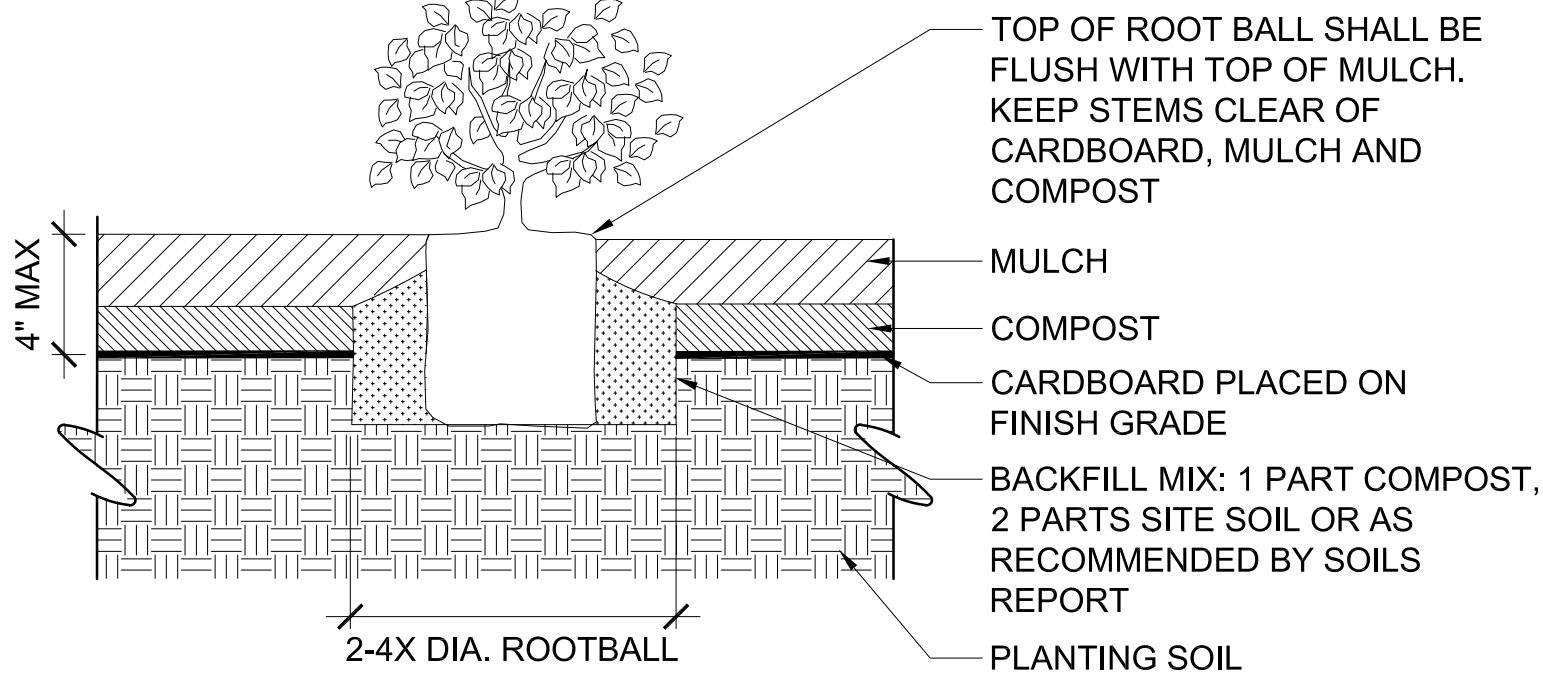


### 3 TREE PLANTING AT STRUCTURAL SOIL

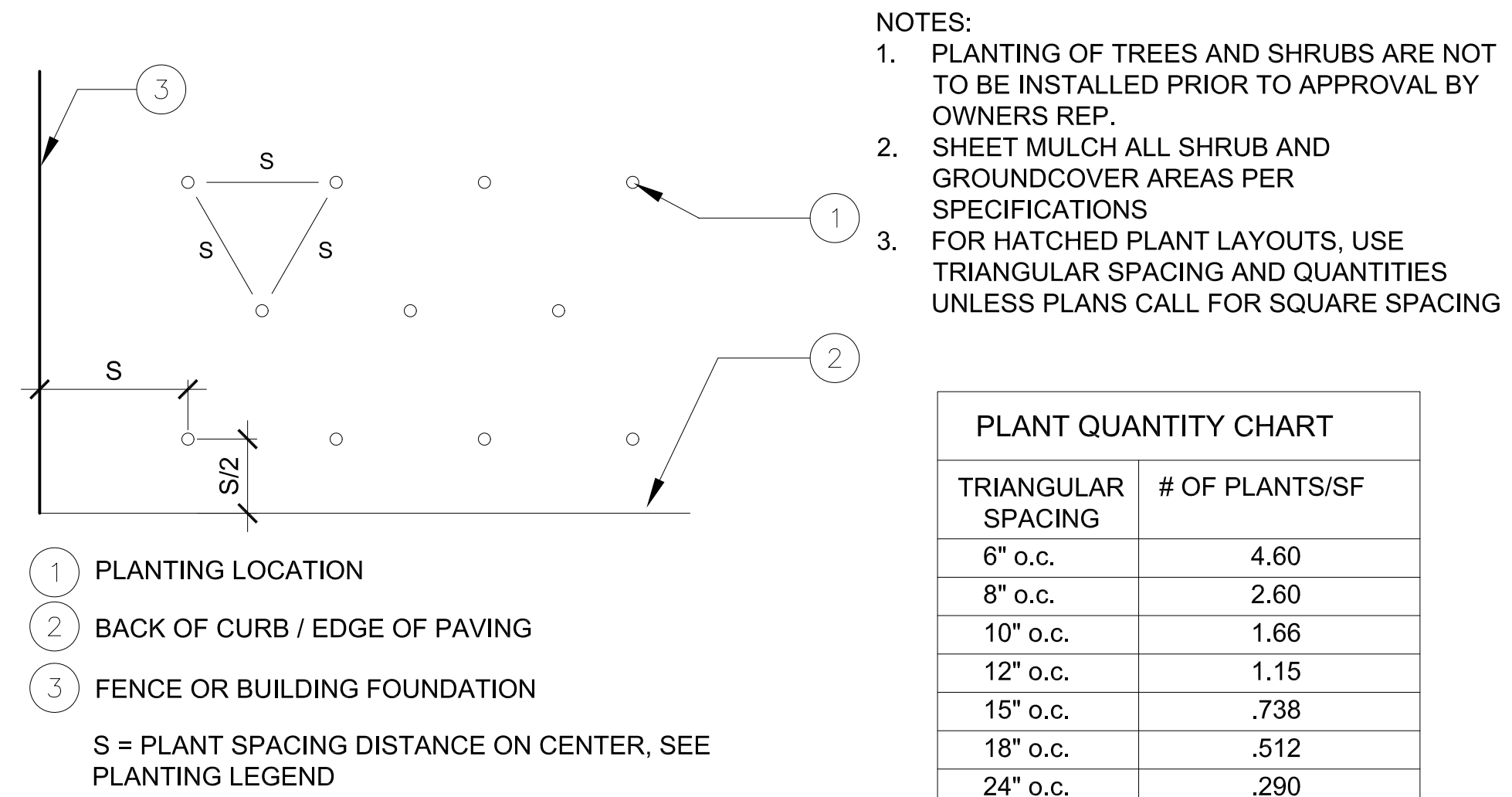
SCALE: 1" = 1'-0"

### 4 1 GAL AND 5 GAL POTS

SCALE: 1 1/2" = 1'-0"



- NOTE :
1. SEE SHEET MULCH FOR PRE-EMERGENT FOR SHEET MULCH DETAILS INCLUDING INSTRUCTIONS AND QUANTITIES.
  2. ONE GALLON:INSTALL PLANTS AFTER SHEET MULCH CARDBOARD IS INSTALLED. CUT HOLES IN CARDBOARD TO PLANT.
  3. FIVE GALLON: INSTALL PLANTS BEFORE SHEET MULCH CARDBOARD IS INSTALLED.

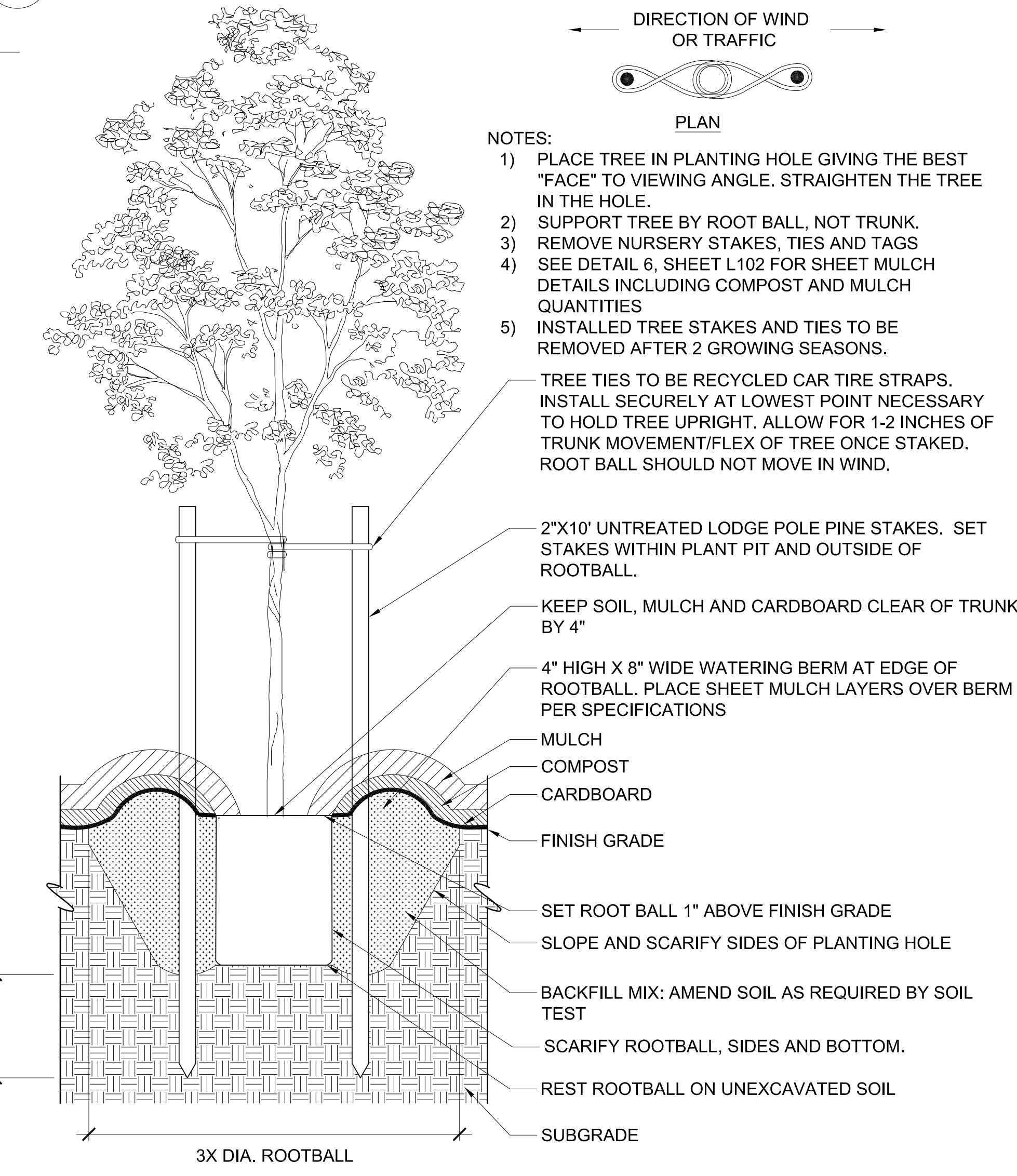


- NOTES:
1. PLANTING OF TREES AND SHRUBS ARE NOT TO BE INSTALLED PRIOR TO APPROVAL BY OWNERS REP.
  2. SHEET MULCH ALL SHRUB AND GROUNDCOVER AREAS PER SPECIFICATIONS
  3. FOR HATCHED PLANT LAYOUTS, USE TRIANGULAR SPACING AND QUANTITIES UNLESS PLANS CALL FOR SQUARE SPACING

PLANT QUANTITY CHART	
TRIANGULAR SPACING	# OF PLANTS/SF
6" o.c.	4.60
8" o.c.	2.60
10" o.c.	1.66
12" o.c.	1.15
15" o.c.	.738
18" o.c.	.512
24" o.c.	.290
30" o.c.	.185
36" o.c.	.116
4'-0" o.c.	.090
5'-0" o.c.	.045
6'-0" o.c.	.030

### 2 GROUNDCOVER + SHRUB TRIANGULAR SPACING

SCALE: NTS



### 1 TREE PLANTING AND STAKING

SCALE: 1" = 1'-0"

Client

**CITY OF EMERYVILLE**  
CALIFORNIA

Project Name & Address

**EMERYVILLE ARTS CENTER**  
Adaptive Reuse of the former United Stamping Building

**4060 Hollis Street, Emeryville, CA 94608**

Developer  
**4060 Hollis Street, LLC**  
1475 Powell Street, Suite 101  
Emeryville, CA 94608  
Tel: 510.428.0800 | Fax: 510.428.0802

Landscape Architect

**PLACEWORKS**  
1625 SHATTUCK AVENUE, STE 300  
BERKELEY, CA 94709  
(510) 848.3815 PHONE  
(510) 848.4315 FAX

Stamp

Issues/ Revisions Date

90% Construction Documents	03 Jul. 2020
Planning Commission Approval	31 Jul. 2020
Planning Commission Approval	20 Aug. 2020

Progress Date 04/05/2021

Architect's Project No. 1819

Sheet Name

Sheet No.

**L103**

SCALE: AS NOTED

Scale at Sheet Size 34"x22"





vine cover:  
***Distictis buccinatoria***  
Scarlet Trumpet Vine

**Green Wall Design Intent:**  
We recommend relying on a long-lived, seasonally stable evergreen vine (*Ficus pumila*) and possibly mixing with a vigorous deciduous vine like *Parthenocissus* for fall color and variety.