



# 1 0 3 4 - 1 0 4 2 4 7 t h s t r e e t e m e r y v i l l e , c a

ISSUE	DATE
PLANNING STUDY SESSION	061518
PLANNING RESUBMITTAL	112918
PLANNING RESUBMITTAL	080219
STUDY SESSION PACKAGE	102419
PLANNING COMMISSION	062520

**ARCHITECT**

**ch x tld**  
prefab evolved

CLEVER HOMES BY TOBY LONG DESIGN  
6114 LASALLE AVENUE #552, OAKLAND CA 94611  
TOBY LONG, AIA - 415.905.9090 - TOBY@CHXTLD.COM

**MODULAR FABRICATOR**

**APPROVAL STAMP**

**1034-1042 47TH STREET  
EMERYVILLE, CA  
94608**

**COVER**

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scale

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- PAINTED METAL TRIM  
PLANTER 
- STAINED CEDAR  
EAVES 
- SMOOTH INTEGRAL  
COLOR STUCCO  
(WHITE) 
- COMPOSITE SIDING  
WOOD TEXTURE, STAIN 
- FIBERGLASS WINDOWS  
MARVIN ESSENTIAL  
(DARK BRONZE COLOR) 
- WOOD ENTRY DOOR  
SIMPSON DOORS 



a new sustainable prefab construction project in emeryville

# 1 0 3 4 - 1 0 4 2 4 7 T H S T R E E T E M E R Y V I L L E , C A



THIS PROJECT CONSISTS OF THE DEMOLITION OF 4 OUT OF 4 EXISTING UNITS TO CONSTRUCT THREE NEW 2-UNIT RESIDENTIAL BUILDINGS WITH ATTACHED GARAGES. 6 UNITS TOTAL. THIS PROJECT IS ASSOCIATED WITH LOT LINE ADJUSTMENT **SUBDIV19-3-1034 47TH ST.**

APN:	PARCEL 2, 49-1175-008-3
TOTAL LOT AREA:	13,245 SQ. FT. (PER LOT LINE ADJUSTMENT)
ZONING:	RM - MEDIUM DENSITY RESIDENTIAL
BUILDING CODE INFORMATION	
OCCUPANCY TYPE:	R-3
CONSTRUCTION TYPE:	VB
SPRINKLERED:	YES



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## 1 PROJECT DESCRIPTION

## 7 RENDERING

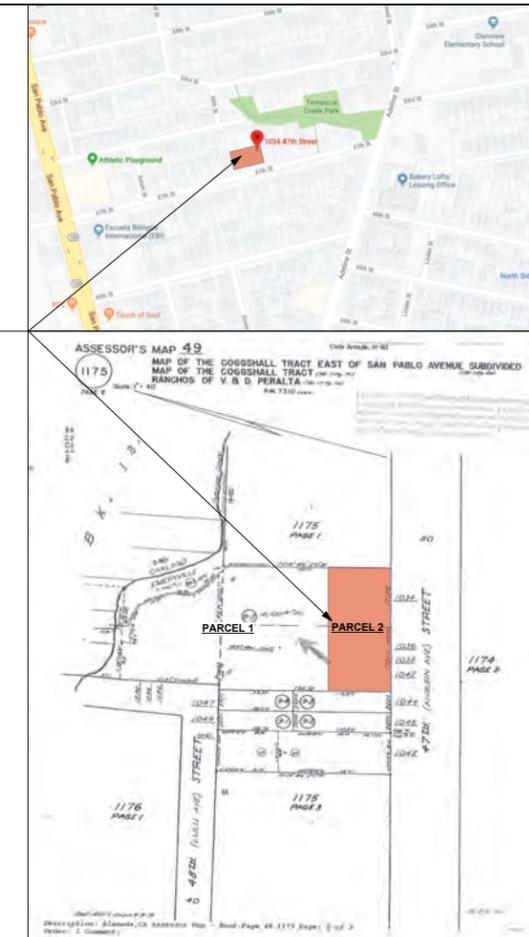
ARCHITECTURAL	LANDSCAPE
A-0.0 COVER AND MATERIALS	L1 LANDSCAPE PLAN
A-0.1 PROJECT INFO	
A-0.2 EXISTING SITE PHOTOS	I 1.1 IRRIGATION PLAN
A-0.5 MASSING VIEWS	I 1.2 IRRIGATION DETAILS
	I 1.3 IRRIGATION DETAILS
	I 1.4 IRRIGATION CALCS
1 OF 1 SURVEY	
1 OF 1 PARCEL DETAIL	
A-1.0 EXISTING SITE PLAN	
A-1.1 PROPOSED SITE PLAN	
A-1.2 PARKING PLAN	
A-1.3 HYDRANT/ DISCARD PLAN	
A-1.4 OPEN SPACE PLAN	
A-2.1 UNIT PLANS	
A-4.0 EXTERIOR ELEVATIONS	
A-4.1 EXTERIOR ELEVATIONS	

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**SITE**  
PARCEL 2 ADJUSTED TO PROPOSED DIMENSIONS VIA LOT LINE ADJUSTMENT



### PARCEL - 2 SITE SUMMARY

	REQUIRED	EXISTING	PROPOSED
DENSITY:	20 UNITS / 1.00 ACRE	4 UNITS / 0.30 ACRE	6 UNITS / 0.30 ACRE
FLOOR AREA RATIO:	0.50	0.26 3,450/13,245	0.50 6,681/13,245
HEIGHT & STORIES:	30'-0"	+/- 25'-0" MAX, 2 STORY	27'-1", 2 STORIES
% IMPERVIOUS SURFACE:		45% (6,340/14,023 SQFT incl. planting strip adj to S prop line)	67% (9,376/14,023 SQFT incl. planting strip adj to S prop line)
% SITE LANDSCAPE:	10%	55% (7,683/14,023 SQFT incl. planting strip adj to S prop line)	17% (2,452/14,023 SQFT incl. planting strip adj to S prop line)
AUTO PARKING - UNIT:	1 PER UNIT	4	6
AUTO PARKING - GUEST	0.2 PER UNIT	1 REQUIRED, 4 PROVIDED	1.2 REQUIRED 1 PROVIDED
BICYCLE PARKING SHORT TERM	1 PER 4 REQ GUEST AUTO SPACES	1 REQUIRED NONE PROVIDED	1 REQUIRED 4 PROVIDED AT 47TH ST
BICYCLE PARKING LONG TERM	1 COVERED/ UNIT	4 REQUIRED NONE PROVIDED	6 REQUIRED 12 PROVIDED IN (N)GARAGES

### PARCEL 2 - AREA SUMMARY

PROPOSED (N) UNIT AREA - (6 UNITS, 3 BLDGS)	5,868
PROPOSED (N) COMMON AREA - (STAIR/VESTIBULES, 3 BLDGS)	813
<b>(N) UNIT F.A.R. AREA</b>	<b>6,681</b>
PROPOSED (N) GARAGES - (518 SF x 3)	1,554
<b>TOTAL PROJECT AREA (SF)</b>	<b>8,235</b>

## 8 TABLE OF CONTENTS

## 2 VICINITY MAP / PARCEL MAP

2019 CA BUILDING CODE    2019 CA MECHANICAL CODE    2019 RESIDENTIAL CODE  
2019 CA ENERGY CODE    2019 CA PLUMBING CODE  
2019 CA GREEN CODE    2019 CA ELECTRICAL CODE

### PARCEL 2 - UNIT SUMMARY

(N)/(E)	ADDRESS	UNIT LIVING AREA (SF)		BEDROOMS		PRIVATE OPEN SPACE (40 SF. REQ / UNIT)		COMMON OPEN SPACE (20 SF. REQ / UNIT)		TOTAL OPEN SPACE (60 SF. REQ / UNIT)		AUTO PARKING RESIDENT (1 REQ / UNIT)		AUTO PARKING GUEST (0.2 REQ / UNIT)		LONG TERM BIKE PARKING (1 REQ / UNIT)		SHORT TERM BIKE PARKING (1 REQ / 4 AUTO GUEST)	
		EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
NEW	1034A 47th ST (2 BED)	0	810	0	2	0	486	0	80	0	566	0	1	0	0.167	0	2	0	N/A
NEW	1034B 47th ST (2 BED)	0	1,150	0	2	0	255	0	80	0	335	0	1	0	0.167	0	2	0	N/A
NEW	1036A 47th ST (2 BED)	0	810	0	2	0	491	0	80	0	571	0	1	0	0.167	0	2	0	N/A
NEW	1036B 47th ST (2 BED)	0	1,150	0	2	0	255	0	80	0	335	0	1	0	0.167	0	2	0	N/A
NEW	1038A 47th ST (2 BED)	0	798	0	2	0	458	0	80	0	518	0	1	0	0.167	0	2	0	N/A
NEW	1038B 47th ST (2 BED)	0	1,150	0	2	0	255	0	80	0	335	0	1	0	0.167	0	2	0	N/A
<b>TOTAL NEW</b>		<b>0</b>	<b>5,868</b>	<b>0</b>	<b>12</b>	<b>0</b>	<b>2,118</b>	<b>0</b>	<b>480</b>	<b>0</b>	<b>2,598</b>	<b>0</b>	<b>6</b>	<b>0</b>	<b>1.00</b>	<b>0</b>	<b>12</b>	<b>0</b>	<b>4</b>
(E)	1034 47th ST (2 BED)	850	DEMO	2	N/A	40	N/A	(E) NON-CONFORMING	N/A	N/A	1	N/A	1	N/A	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING
(E)	1036 47th ST (2 BED)	850	DEMO	2	N/A	40	N/A	(E) NON-CONFORMING	N/A	N/A	1	N/A	1	N/A	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING
(E)	1038 47th ST (2 BED)	850	DEMO	2	N/A	40	N/A	(E) NON-CONFORMING	N/A	N/A	1	N/A	1	N/A	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING
(E)	1042 47th ST (2 BED)	900	DEMO	2	N/A	40	N/A	(E) NON-CONFORMING	N/A	N/A	1	N/A	1	N/A	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING	(E) NON-CONFORMING
<b>TOTAL EXISTING TO DEMO</b>		<b>3,450</b>	<b>0</b>	<b>8</b>	<b>0</b>	<b>160</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>4</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>

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T: 510.655.7674 F: 510.655.7673 CONTACT: PENNELL PHILLIPS E: penn@aboutinsideout.com		MODULAR FABRICATOR	

**MODULAR FABRICATOR**

**APPROVAL STAMP**

**1034-1042 47TH STREET  
EMERYVILLE, CA  
94608**

**INFO**

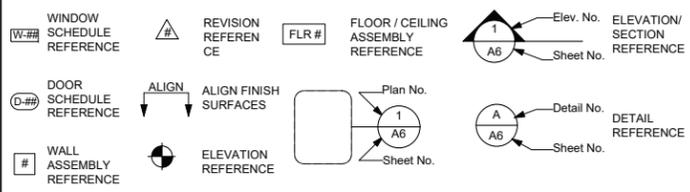
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scale

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## 3 CODE REFERENCE

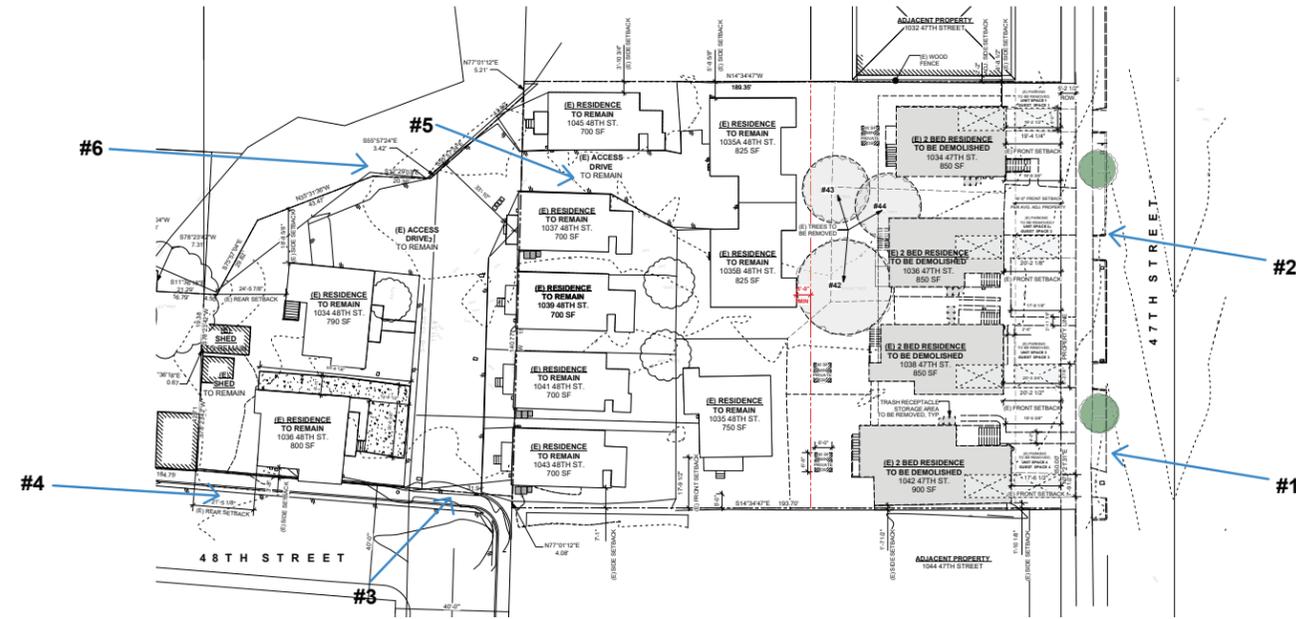


## 4 SYMBOLS

## 6 PROJECT INFORMATION

## 9 CONTACT INFO

REFERENCE MAP



PHOTOS



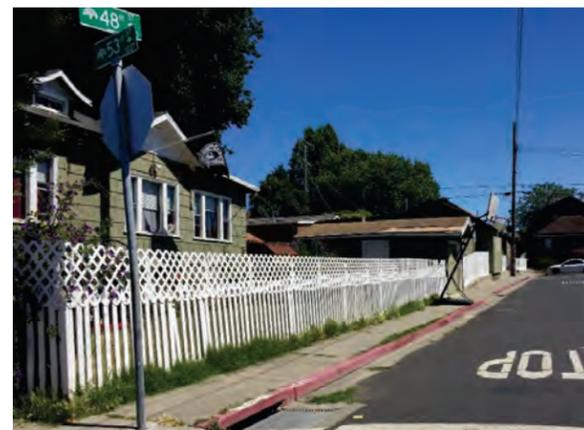
#1: Looking north at 1042 47<sup>th</sup> Street (left) and 1038 47<sup>th</sup> Street (right): two westernmost units proposed for redevelopment



#2: Looking north at 1036 47<sup>th</sup> Street (left) and 1034 47<sup>th</sup> Street (right): two easternmost units proposed for redevelopment



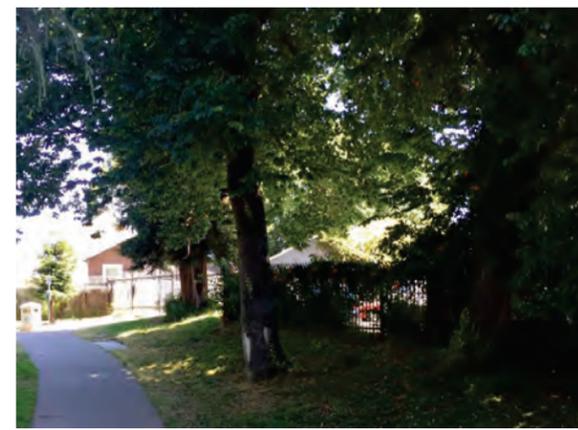
#3: Looking east along drive aisle extending from 48<sup>th</sup> Street – middle units proposed to remain



#4: Looking southeast along 48<sup>th</sup> Street – rear unit and detached garage proposed to remain



#5: Looking south from drive aisle extending from 48<sup>th</sup> Street – middle units and garages proposed to remain



#6: Looking south from Temescal Creek Park multi-use trail – middle units proposed to remain



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EXISTING SITE  
 PHOTOS

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STREET VIEW  
LOOKING NORTH



AERIAL REAR VIEW  
LOOKING SOUTH



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MASSING

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 94608**

**EXISTING SITE PLAN**

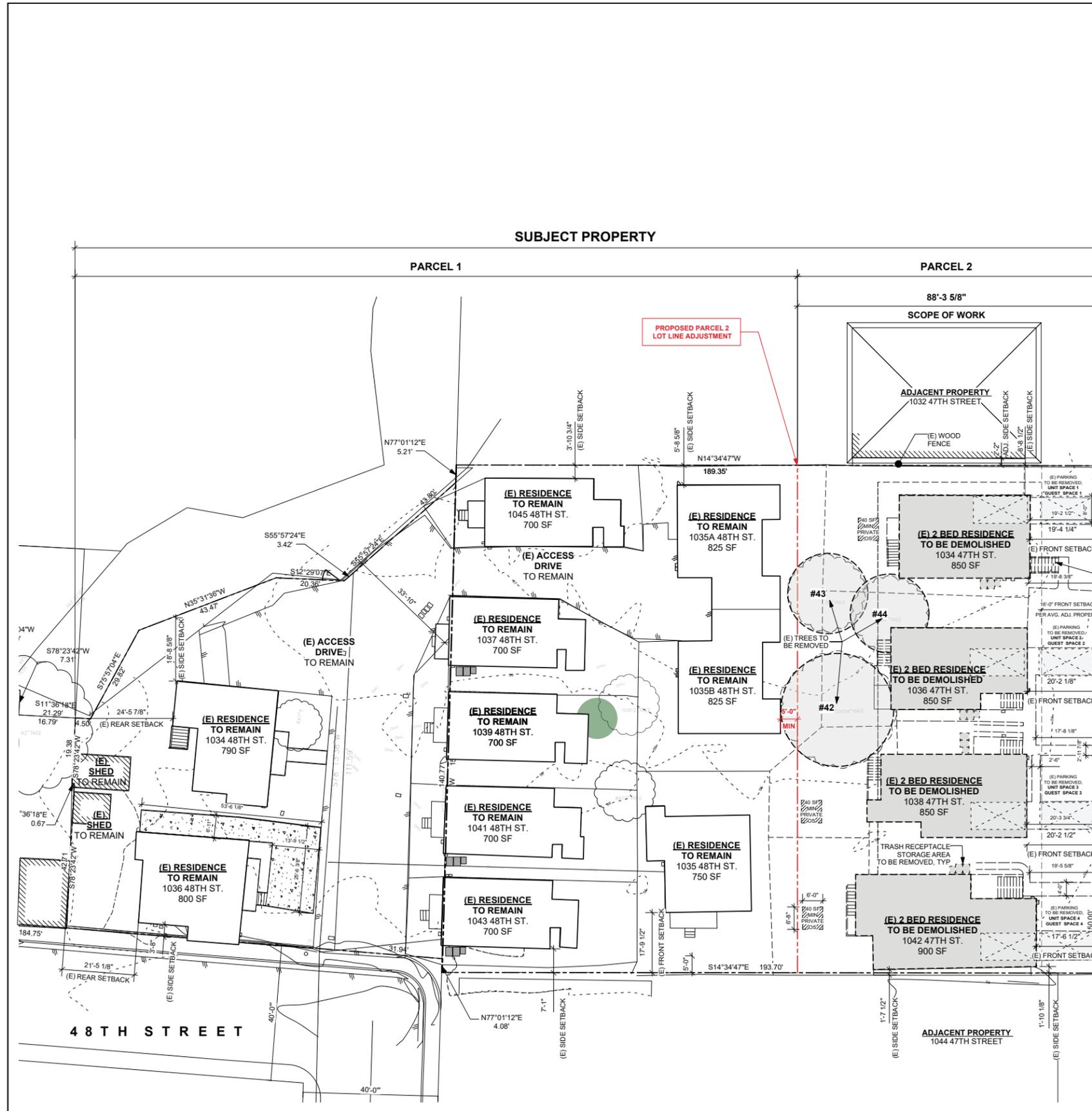
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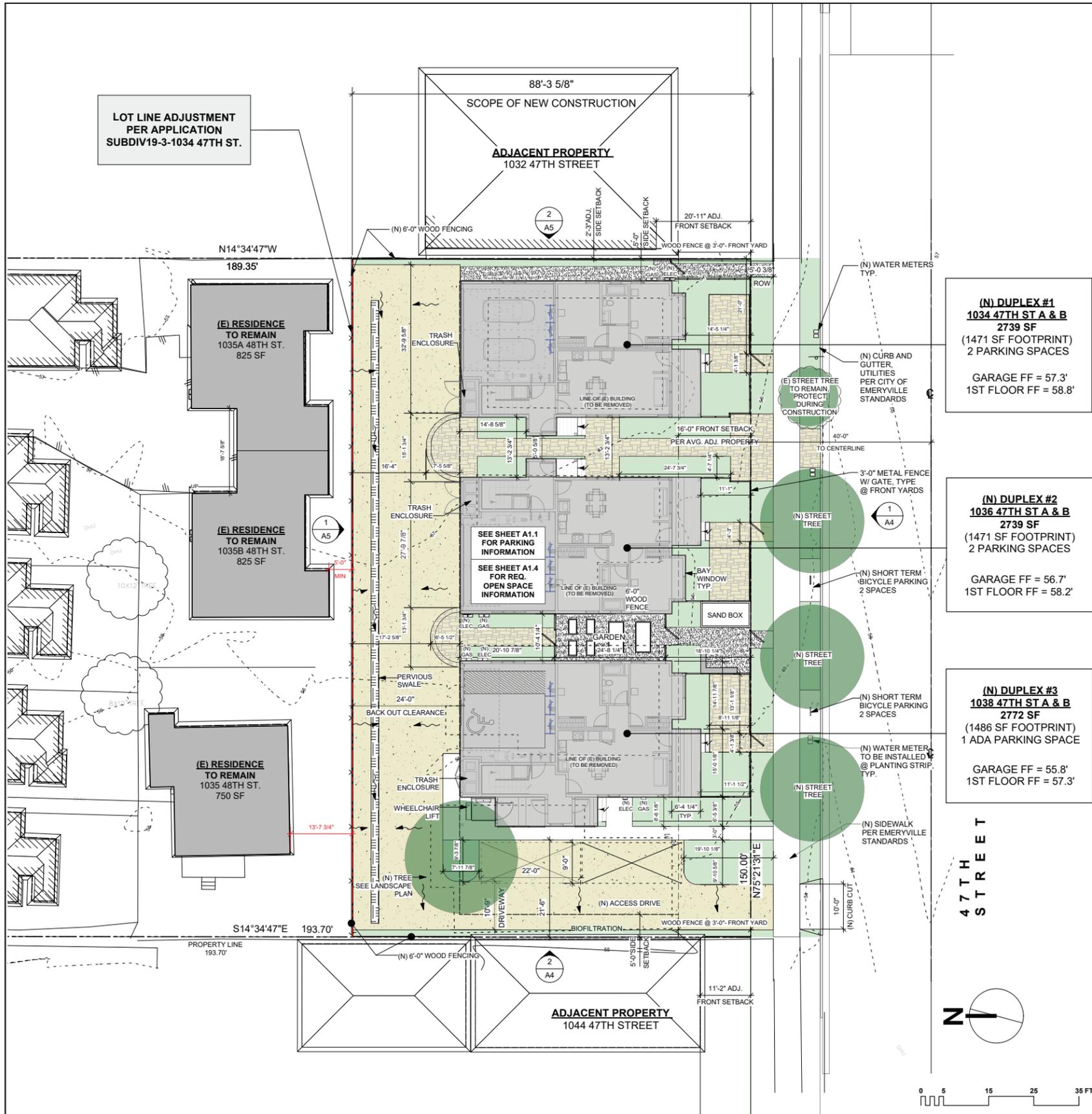
scale 1/16" = 1'-0"

sheet **A1.0**

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PARCEL - 2 SITE SUMMARY			
	REQUIRED	EXISTING	PROPOSED
<b>DENSITY:</b>	20 UNITS / 1.00 ACRE	4 UNITS / 0.30 ACRE	6 UNITS / 0.30 ACRE
<b>FLOOR AREA RATIO:</b>	0.50	0.26 3,450/13,245	0.50 6,681/13,245
<b>HEIGHT &amp; STORIES:</b>	30'-0"	+/- 25'-0" MAX, 2 STORY	27'-1", 2 STORIES
<b>% IMPERVIOUS SURFACE:</b>		45% (6,340/14,023 SQFT incl. planting strip adj to S prop line)	67% (9,376/14,023 SQFT incl. planting strip adj to S prop line)
<b>% SITE LANDSCAPE:</b>	10%	55% (7,683/14,023 SQFT incl. planting strip adj to S prop line)	15% (2,037/14,023 SQFT incl. planting strip adj to S prop line)
<b>AUTO PARKING - UNIT:</b>	1 PER UNIT	4	6
<b>AUTO PARKING - GUEST</b>	0.2 PER UNIT	1 REQUIRED, 4 PROVIDED	1.2 REQUIRED 1 PROVIDED
<b>BICYCLE PARKING SHORT TERM</b>	1 PER 4 REQ GUEST AUTO SPACES	1 REQUIRED NONE PROVIDED	1 REQUIRED 4 PROVIDED AT 47TH ST
<b>BICYCLE PARKING LONG TERM</b>	1 COVERED/ UNIT	4 REQUIRED NONE PROVIDED	6 REQUIRED 12 PROVIDED IN (N)GARAGES





**PARCEL - 2 SITE SUMMARY**

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<b>BICYCLE PARKING SHORT TERM</b>	1 PER 4 REQ GUEST AUTO SPACES	1 REQUIRED NONE PROVIDED	1 REQUIRED 4 PROVIDED AT 47TH ST
<b>BICYCLE PARKING LONG TERM</b>	1 COVERED/ UNIT	4 REQUIRED NONE PROVIDED	6 REQUIRED 12 PROVIDED IN (N)GARAGES



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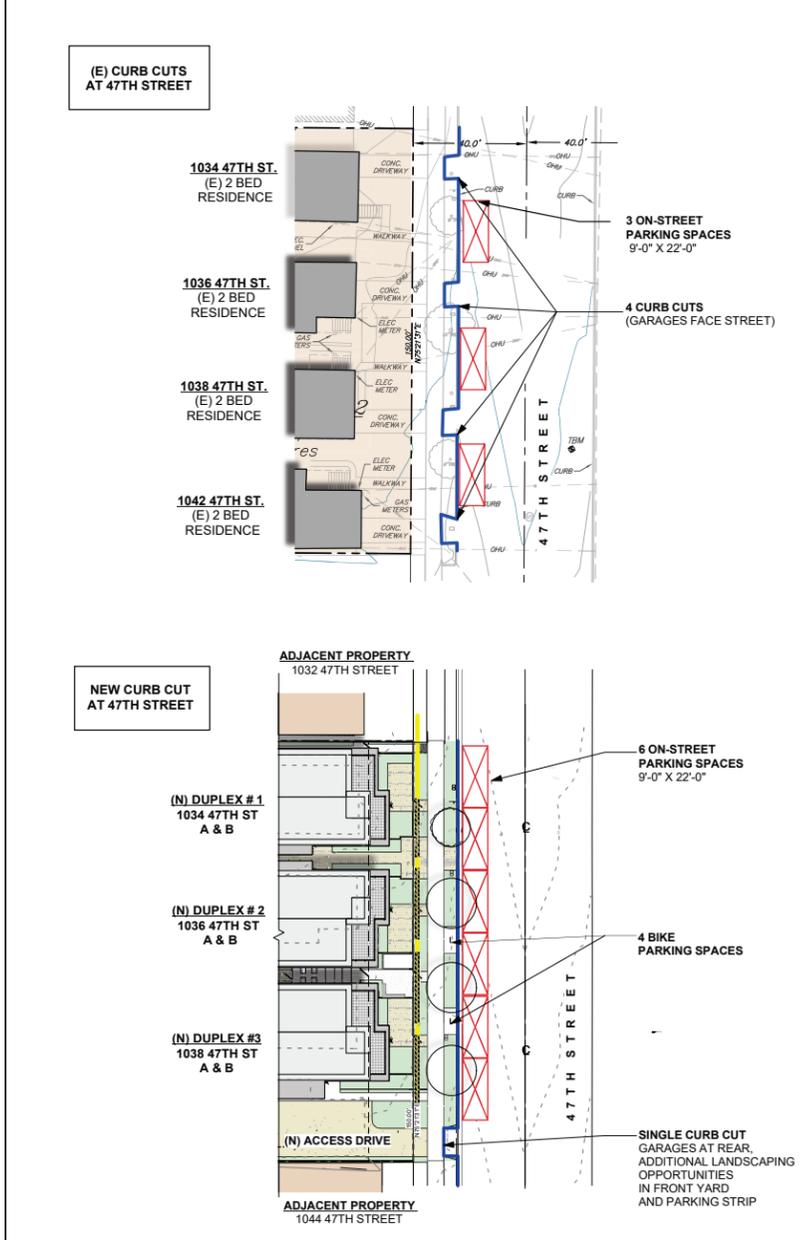
**PROPOSED SITE PLAN**

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scale 1" = 12'-0"

sheet **A1.1**

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**SHORT TERM BIKE PARKING - 47TH STREET LOCATION**

**U RACK HEAVY DUTY**  
Submittal Sheet **509-2003**

**CAPACITY** 2 Bikes

**MATERIALS** 2" schedule 40 pipe (2.375" OD)

**FINISHES**  **Galvanized** An alloy fabrication hot dipped galvanized finish is our standard option.  
 **Powder Coat** Our powder coat finish assures a high level of adhesion and durability by following these steps:  
1. Sandblast  
2. Epoxy primer electrostatically applied  
3. Final track "RAC" polyester powder coat

**Thermoplastic** In addition to an increased thickness (8-10mil), the thermoplastic finish cures a galvanized layer and offers superior impact resistance over powder coating.

**PVC Dip (optional)** Other colors available by special order (minimum orders apply)

**Stainless** Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

**MOUNT OPTIONS**  
 **In-ground** In-ground mount is embedded into concrete base. Specify in-ground mount for this option.  
 **Surface** Foot Mount has two 2.5" x 1.25" feet with two anchors per foot. Specify foot mount for this option.  
 **Rail** Rail mounted racks are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 2" x 4" x 1/8" thick galvanized mounting rails. Specify rail mount for this option.

www.theparkcatalog.com | 1-800-695-3503

**LONG TERM BIKE PARKING - GARAGE WALL LOCATION**

**cycloc** **SOLO**

**Introduction**

**CYCLOC**  
Store your bike with style  
Cycloc's unique ability to carefully combine considered thought with a twist of poetic spirit to create a range of simple, playful and practical products has earned it global recognition with numerous awards and accolades.  
Founded in 2008, Cycloc operates from their design studio in London's creative East End and a manufacturing facility in the UK. A team of skilled and enthusiastic distributors and retailers provide support globally.

**SOLO**  
Horizontal or vertical cycle display  
• Elegant and effortless cycle storage, ideal for home, office and retail display applications.  
• Store bikes horizontally or vertically, accessories in the centre.  
• Secure three point wall fixing, insert panel hides fixings.  
• Spacer included to accommodate wide bars.  
• Rotate to accommodate frame angles.  
• Rubber contact points protect frame.  
• Facility to lock bike in place.  
• Available in 6 bright colours.

*"The Solo is a minimalistic triumph of form, function and social awareness"*  
UK Design Council

www.cycloc.com

**cycloc** **SOLO**

**Product features and benefits**

- Robust Polypropylene
- 2 large holes allow your bike to be secured with a conventional bicycle lock
- Spacer for wide handlebars included, use of it is optional
- Rubber contact pads to protect your frame
- Secure three-point fixings
- Insert panel hides fixings
- Slotted holes enable Solo to rotate, accommodating sloping frame tubes

**Facility to lock** **Store your accessories** **Horizontal or vertical storage**

**UNIT AUTO PARKING SPACES 1 & 2**

**UNIT LONG TERM BIKE PARKING 1,2,3,4**

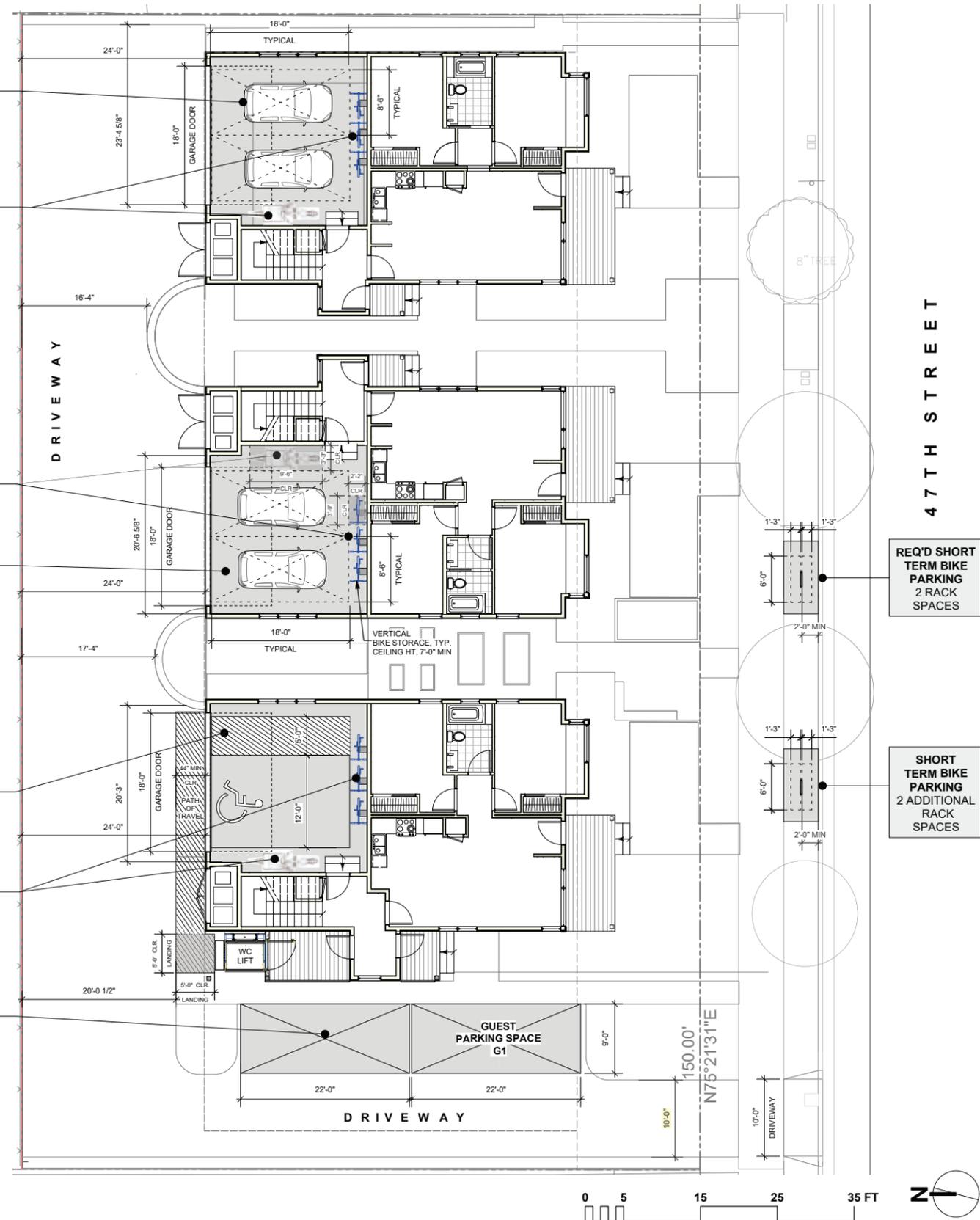
**UNIT LONG TERM BIKE PARKING SPACES 5,6,7,8**

**UNIT AUTO PARKING SPACES 3 & 4**

**ADA GARAGE UNIT AUTO PARKING SPACE 5**

**UNIT LONG TERM BIKE PARKING 9,10,11,12**

**UNIT AUTO PARKING SPACE 6**



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PLANNING COMMISSION	06/25/20

**ARCHITECT**

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prefab evolved

CLEVERHOUSES BY TOBY LONG DESIGN  
6114 LASALLE AVENUE #552 OAKLAND CA 94611  
TOBY LONG, AIA - 415.905.5080 - TOBY@CHXTLD.COM

**MODULAR FABRICATOR**

**REQ'D SHORT TERM BIKE PARKING 2 RACK SPACES**

**SHORT TERM BIKE PARKING 2 ADDITIONAL RACK SPACES**

**APPROVAL STAMP**

**1034-1042 47TH STREET EMERYVILLE, CA 94608**

**PARKING PLAN**

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scale 1/8"=1'-0"

sheet **A1.2**

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ISSUE	DATE
PLANNING STUDY SESSION	061518
PLANNING RESUBMITTAL	112918
PLANNING RESUBMITTAL	080219
STUDY SESSION PACKAGE	102419
PLANNING COMMISSION	062520

ARCHITECT

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MODULAR FABRICATOR

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94608

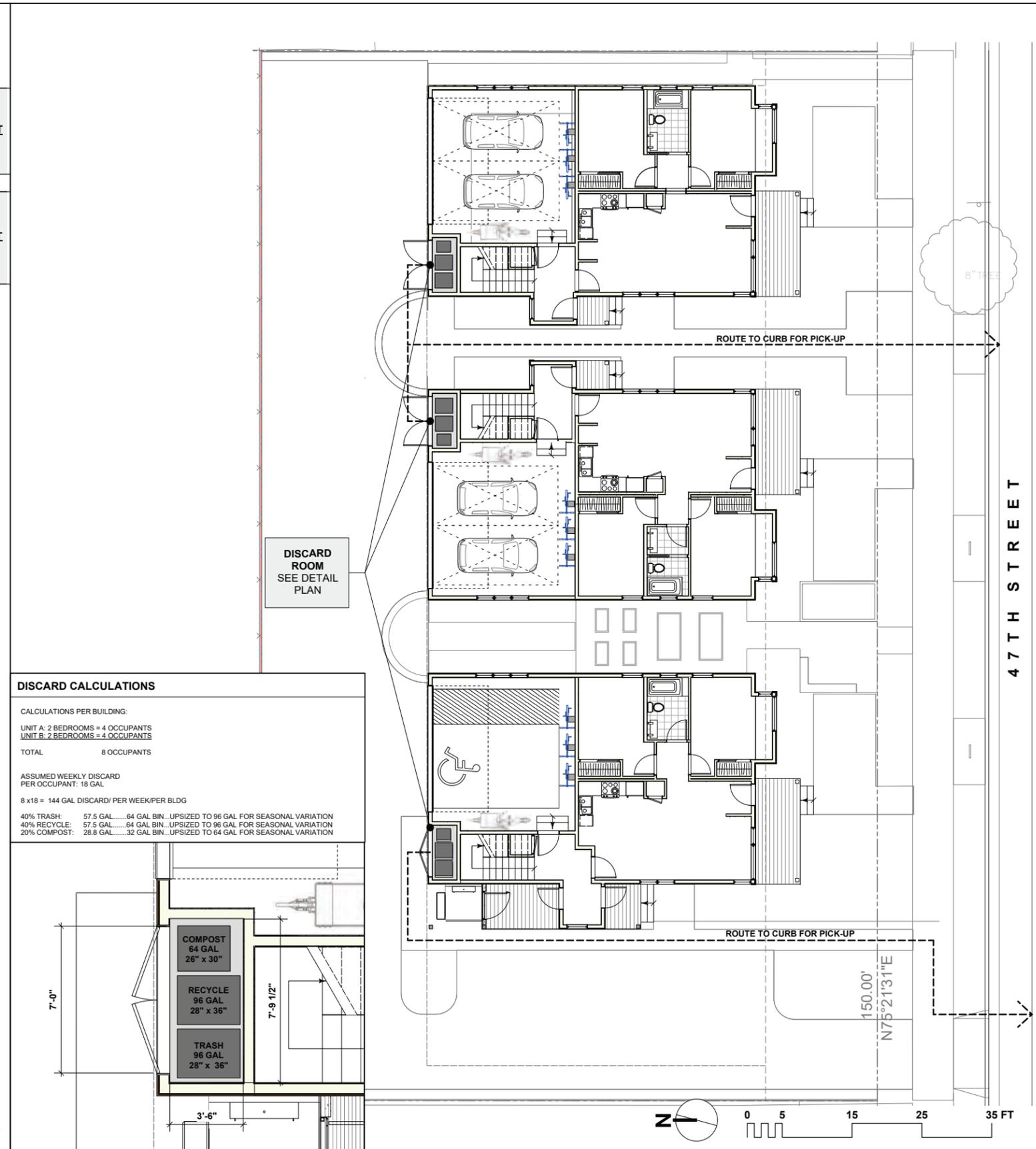
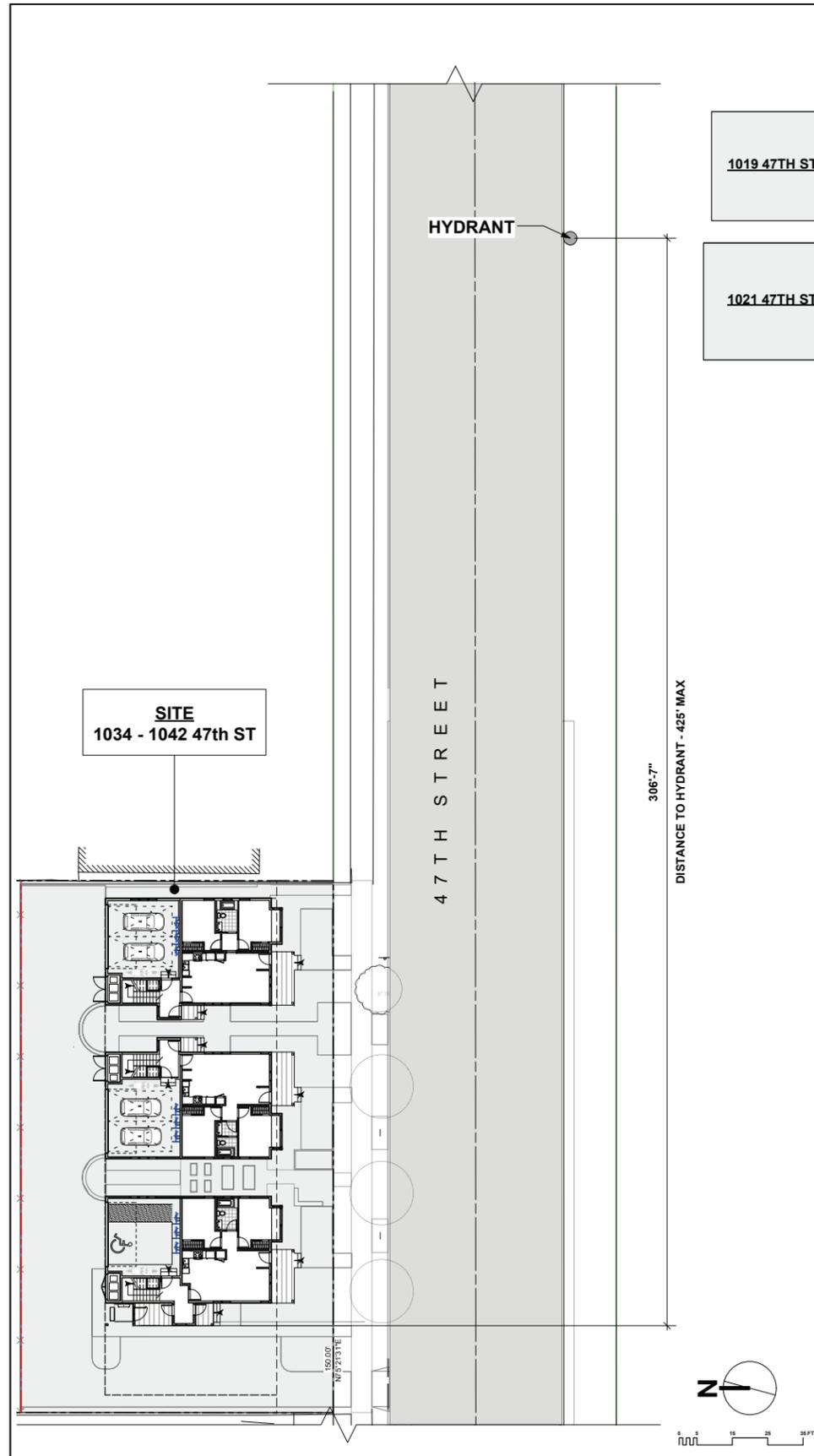
DISCARD/HYDRANT PLAN

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sheet  
**A1.3**

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1 HYDRANT LOCATION PLAN

2 DISCARD PLAN



ISSUE	DATE
PLANNING STUDY SESSION	06/15/18
PLANNING RESUBMITTAL	11/29/18
PLANNING RESUBMITTAL	08/02/19
STUDY SESSION PACKAGE	10/24/19
PLANNING COMMISSION	06/25/20

ARCHITECT

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REQUIRED OPEN SPACE

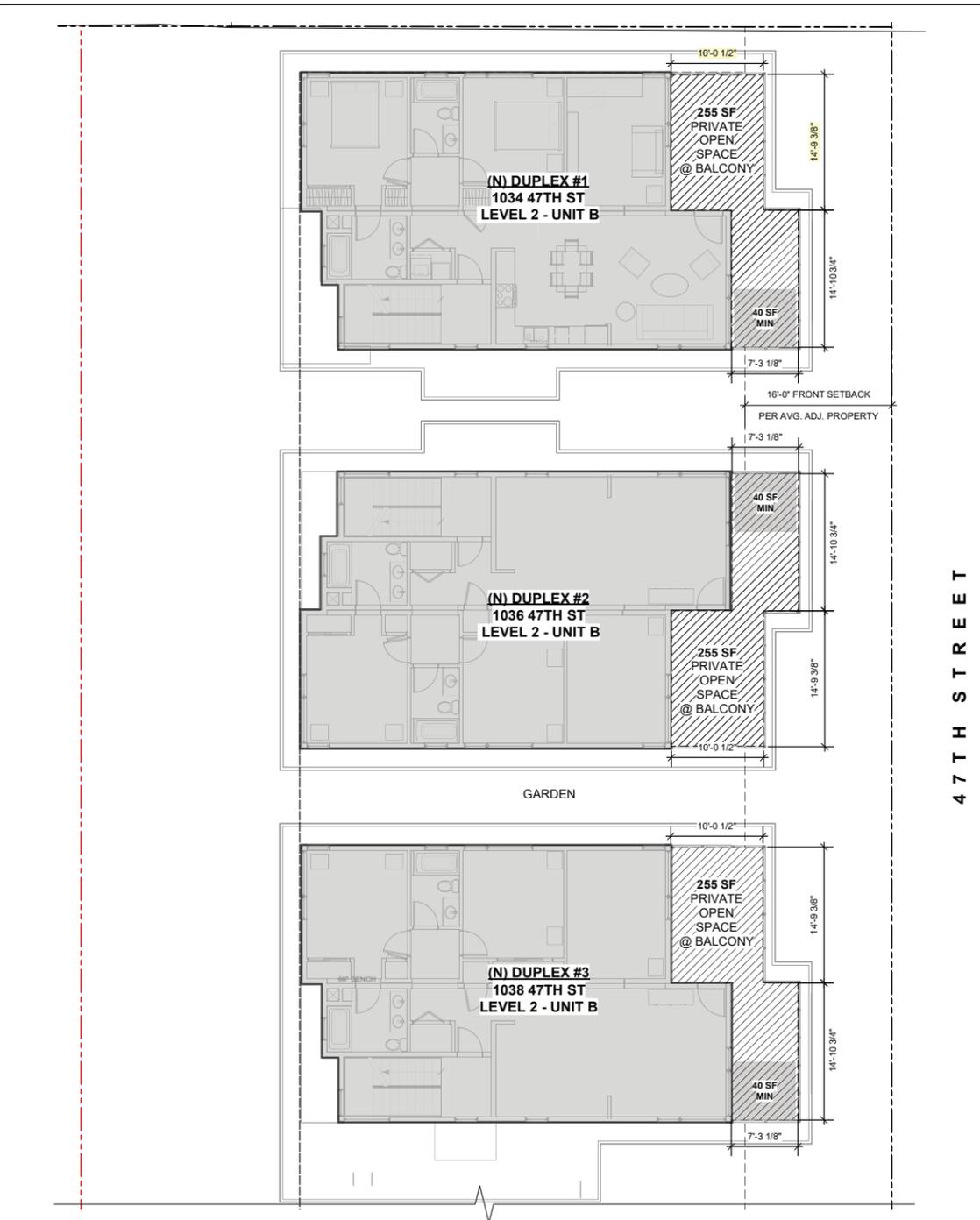
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scale 1/8" = 1'-0"

sheet **A1.4**

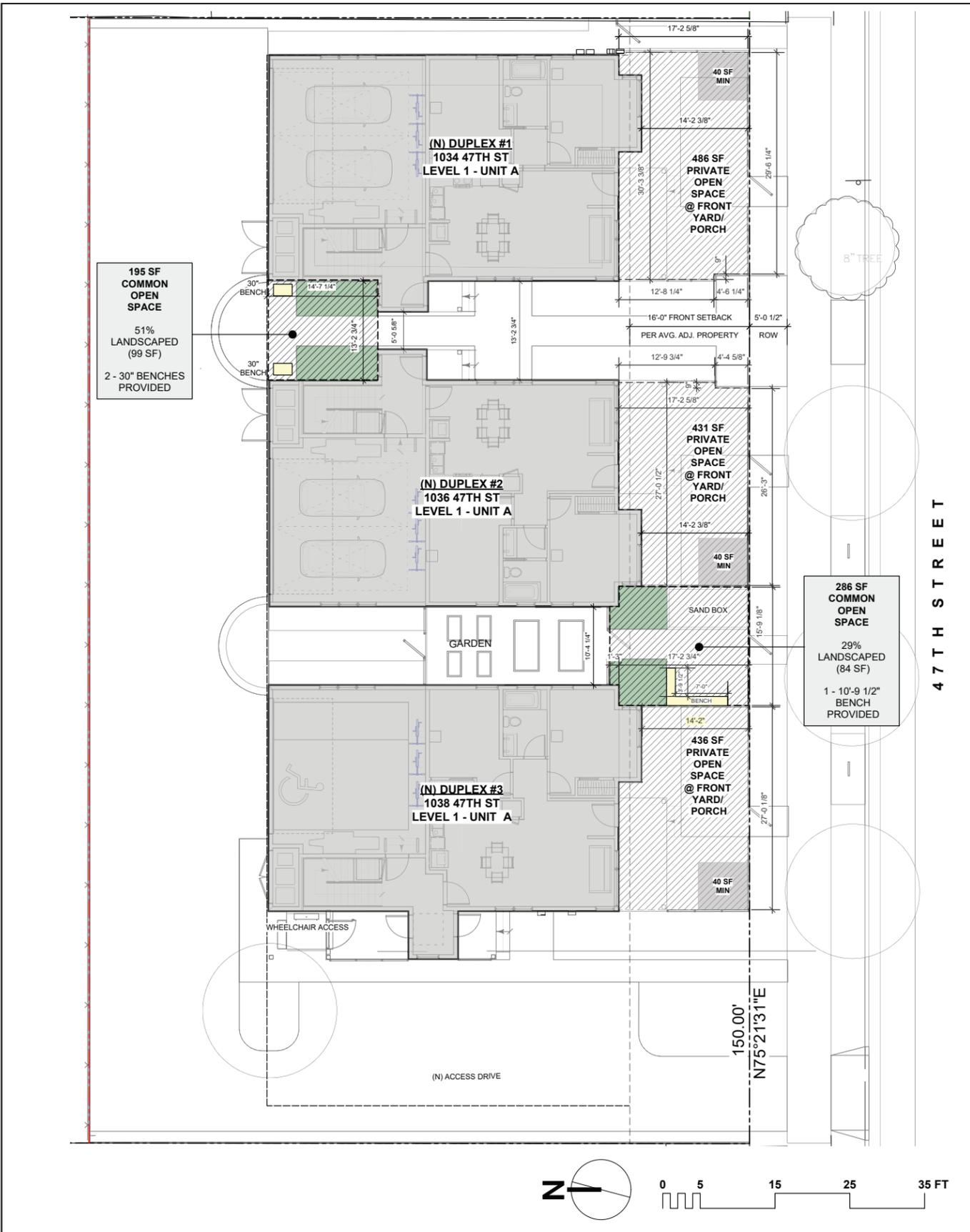
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2 LEVEL 2 - REQUIRED OPEN SPACE

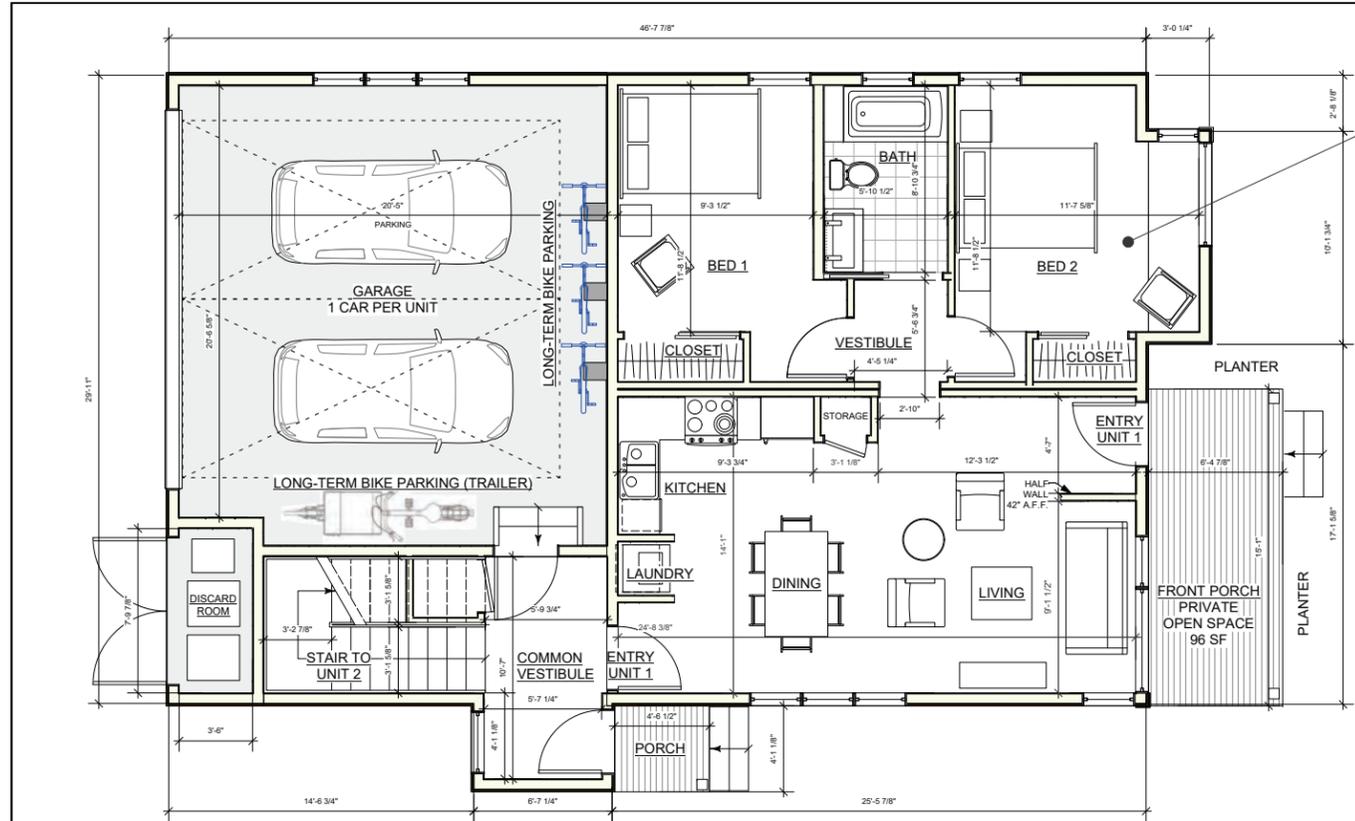
PARCEL 2 - OPEN SPACE											
(N)/(E)	ADDRESS	UNIT LIVING AREA (SF)		BEDROOMS		PRIVATE OPEN SPACE (40 SF. REQ. / UNIT)		COMMON OPEN SPACE (20 SF. REQ. / UNIT)		TOTAL OPEN SPACE (60 SF. REQ. / UNIT)	
		EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
NEW	1034A 47th ST (2 BED)	0	810	0	2	0	486	0	80	0	566
NEW	1034B 47th ST (2 BED)	0	1,150	0	2	0	255	0	80	0	335
NEW	1036A 47th ST (2 BED)	0	810	0	2	0	431	0	80	0	511
NEW	1036B 47th ST (2 BED)	0	1,150	0	2	0	255	0	80	0	335
NEW	1038A 47th ST (2 BED)	0	798	0	2	0	436	0	80	0	516
NEW	1038B 47th ST (2 BED)	0	1,150	0	2	0	255	0	80	0	335
<b>TOTAL NEW</b>		<b>0</b>	<b>5,868</b>	<b>0</b>	<b>12</b>	<b>0</b>	<b>2,118</b>	<b>0</b>	<b>480</b>	<b>0</b>	<b>2,598</b>

3 OPEN SPACE CALCULATION



1 LEVEL 1 - REQUIRED OPEN SPACE

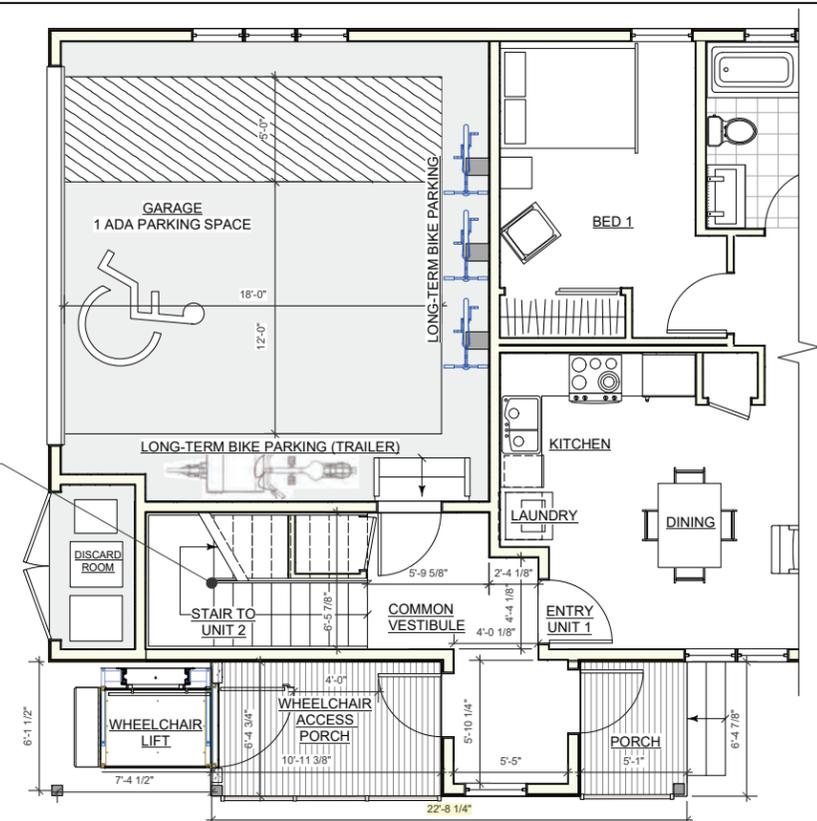
47TH STREET



**LEVEL 1 - 1034/1036**  
**1472 SF**  
**UNIT A - lower flat**  
**810 SF**  
 2 BEDROOM  
 1 BATH  
**ENTRY/STAIR**  
 144 SF  
**GARAGE/TRASH**  
 518 SF

**LEVEL 1 - ADA- 1038**  
**1486 SF**  
**UNIT A - lower flat**  
**798 SF**  
 2 BEDROOM  
 1 BATH  
**ENTRY/STAIR**  
 171 SF  
**GARAGE/TRASH**  
 517 SF

NOTE: LIMITERS TO BE INSTALLED ON ALL OPERABLE WINDOWS TO PREVENT FALLS



ISSUE	DATE
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ARCHITECT

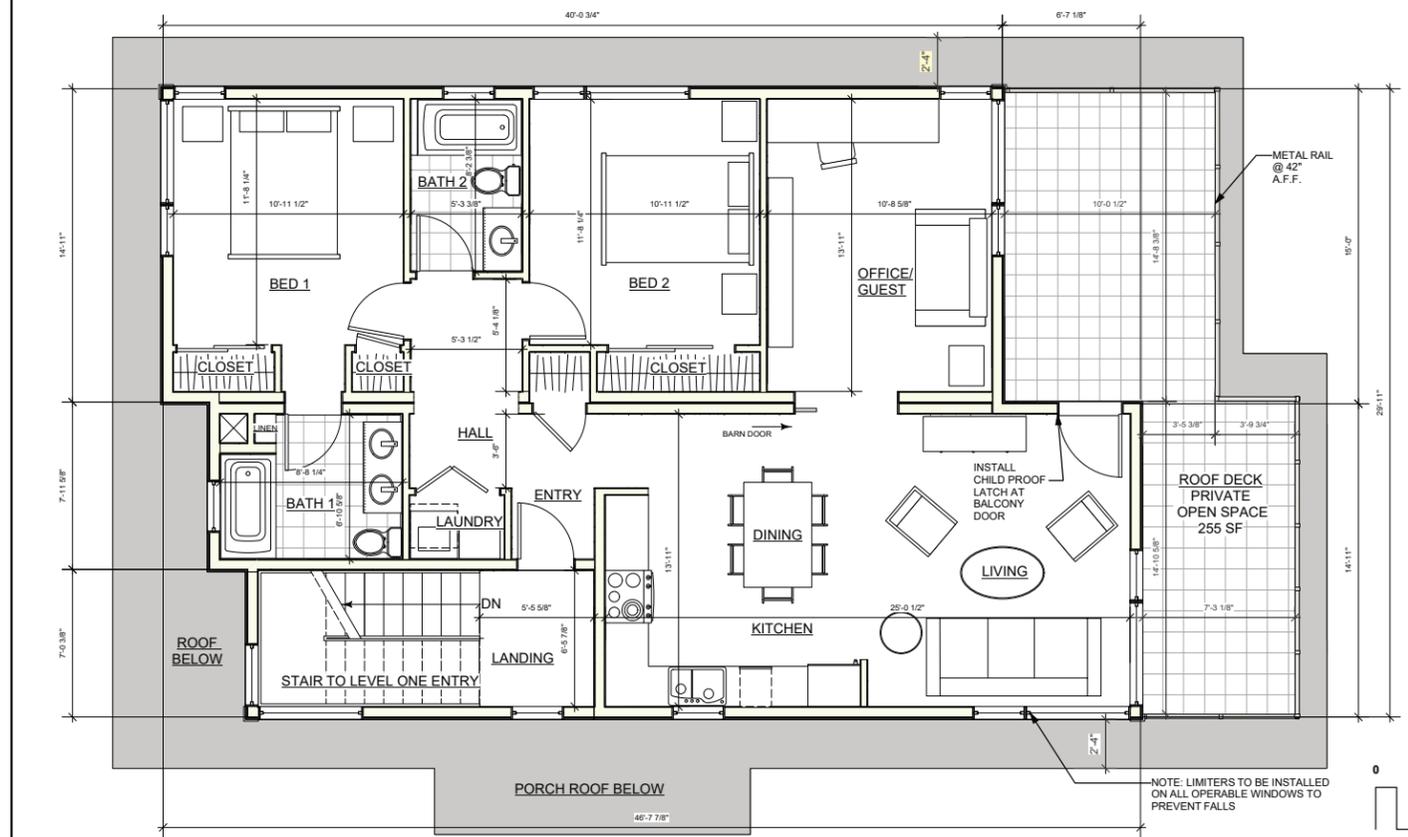
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LIVING

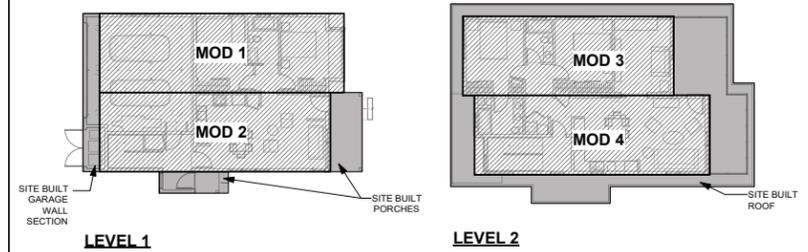
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1 LEVEL 1 - STANDARD AND ADA UNIT PLANS



**LEVEL 2 - TYPICAL**  
**1268 SF**  
**UNIT B - upper flat**  
**1150 SF**  
 2 BEDROOM  
 + OFFICE/GUEST  
 2 BATH  
**STAIR/LANDING**  
 118 SF



3 MODULAR DIAGRAMS

BLDG AREA - 1034 47TH /1036 47TH		BLDG AREA - 1038 47TH	
UNIT A - LEVEL 1	810 SF	UNIT A - LEVEL 1 - ADA	798 SF
UNIT B - LEVEL 2	1150 SF	UNIT B - LEVEL 2	1150 SF
<b>HABITABLE SF</b>	<b>1960 SF</b>	<b>HABITABLE SF</b>	<b>1948 SF</b>
COMMON (VESTIBULE/STAIRS/LANDINGS)	262 SF	COMMON (VESTIBULE/STAIRS/LANDINGS)	289 SF
F.A.R. SF	2222 SF	F.A.R. SF	2237 SF
GARAGE/TRASH	518 SF	GARAGE/TRASH	518 SF
<b>TYP. BUILDING TOTAL</b>	<b>2740 SF</b>	<b>BUILDING 3 TOTAL</b>	<b>2754 SF</b>

APPROVAL STAMP

1034-1042 47TH STREET  
 EMERYVILLE, CA  
 94608

PLANS

scale 1/4" = 1'-0"

sheet  
**A2.1**

2 LEVEL 2 - UNIT PLAN

4 AREA CALCULATION



4"=1'-0"

ISSUE	DATE
PLANNING STUDY SESSION	061518
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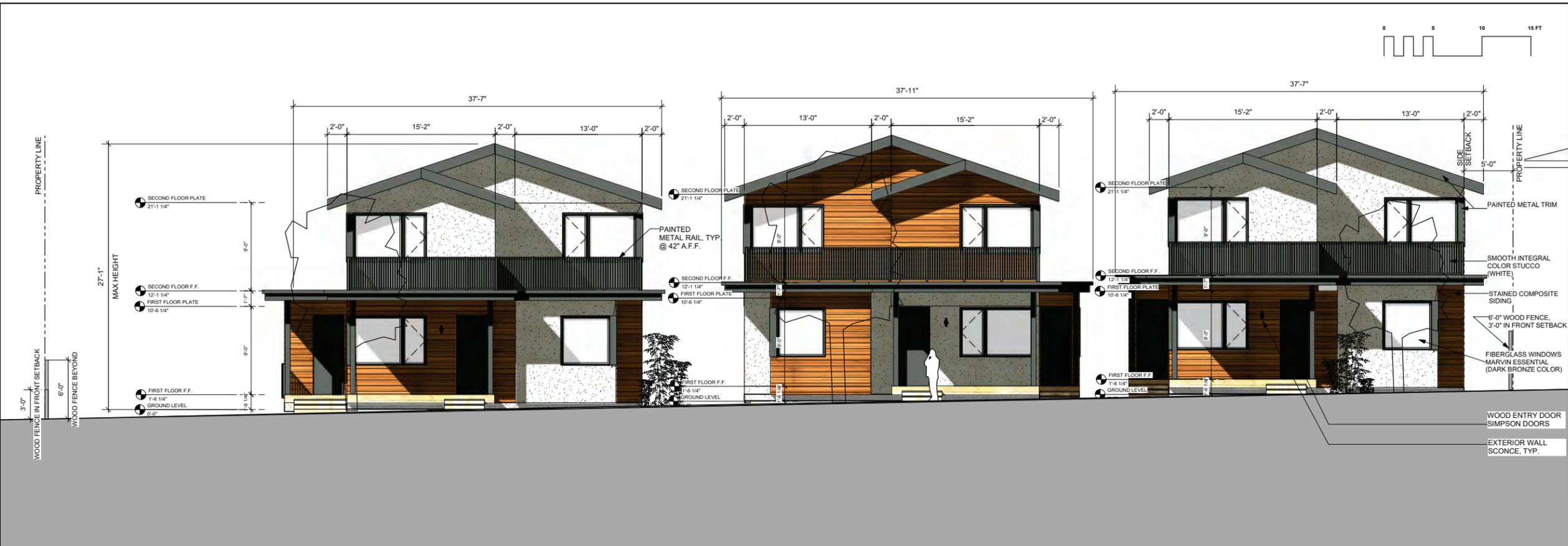
ELEVATIONS

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scale  
 3/16" = 1'-0"

sheet  
**A4.0**

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1 SOUTH (FRONT) ELEVATION - 47th ST



2 WEST ELEVATION @ DRIVEWAY



ISSUE	DATE
PLANNING STUDY SESSION	061518
PLANNING RESUBMITTAL	112918
PLANNING RESUBMITTAL	080219
STUDY SESSION PACKAGE	102419
PLANNING COMMISSION	062520

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MODULAR FABRICATOR



1 REAR (NORTH) ELEVATION



2 EAST ELEVATION - TYPICAL

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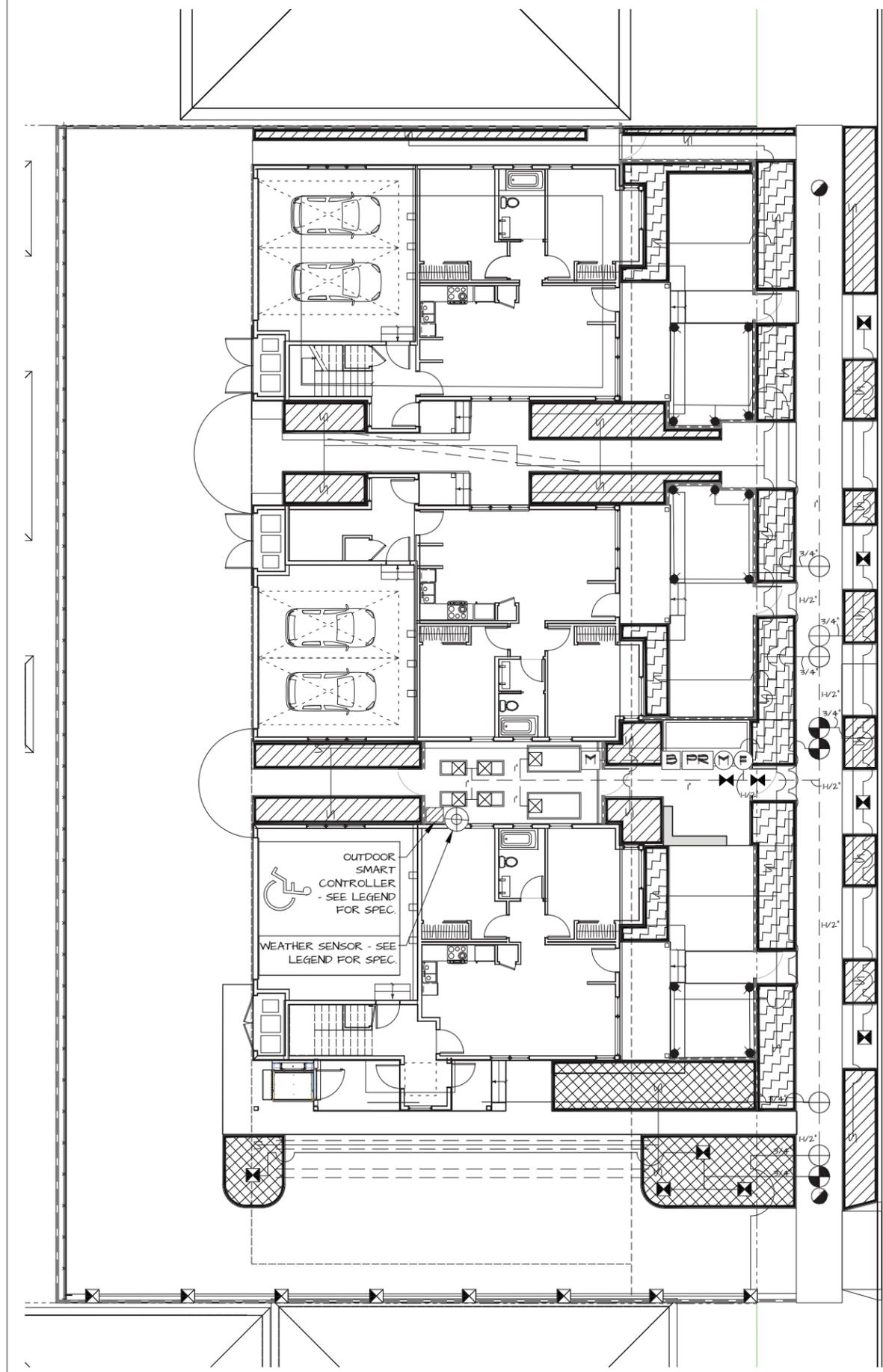
ELEVATIONS

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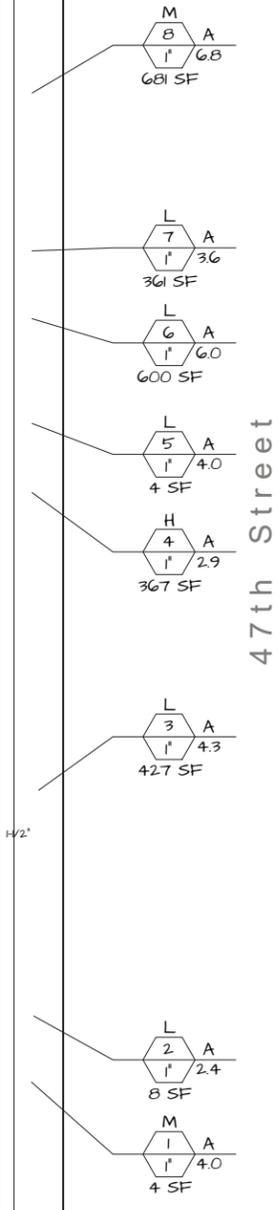
scale  
 3/16" = 1'-0"

sheet  
**A4.1**





NOTES:  
CONTRACTOR TO FIELD VERIFY THE IRRIGATION SYSTEM AT THE EXISTING TREES AND REPLACE WITH ROOT ZONE WATERING SYSTEM PER LEGEND.



47th Street

**IRRIGATION NOTES**

**DIAGRAMMATIC PLAN**  
THIS SYSTEM IS DIAGRAMMATIC. ALL PIPE, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS AND JOINT TRENCHES WHEREVER POSSIBLE.

**SPRINKLER ADJUSTMENT REQUIRED**  
THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND PREVENT OVERSPRAY ONTO WALKS AND ROADWAYS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS. CONTRACTOR TO USE PRESSURE COMPENSATING SCREENS WHEN RADIUS IS REDUCED MORE THAN FIFTY PERCENT (50%).

INSTALL NECESSARY CHECK VALVE IN HEADS THAT EXHIBIT TENDENCIES FOR LOW HEAD DRAINAGE.

INSTALL ALL HEADS A MINIMUM OF 18" AWAY FROM BUILDING WALLS & A MINIMUM OF 12" AWAY FROM ALL STUCCO SURFACES.

**FIELD CONDITIONS**  
DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS INDICATED ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES EXIST AND SHOULD BE BROUGHT TO THE ATTENTION OF THE CONTRACTING OFFICER. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS REQUIRED.

**SWING JOINTS**  
INSTALL ALL HEADS WITH DOUBLE OR TRIPLE SWING JOINTS, USING STREET ELLS, AS PER DETAIL.

**MINIMUM PRESSURE AND MAXIMUM GALLONS REQUIRED**  
THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATIONAL PRESSURE AND A MAXIMUM DEMAND AT THE POINT OF CONNECTION, AS NOTED ON THE PLAN. BEFORE INSTALLING THE SYSTEM, CHECK POINT OF CONNECTION AND IMMEDIATELY NOTIFY CONTRACTING OFFICER IF PRESSURE IS NOT AS NOTED OR THE REQUIRED GALLONS PER MINUTE IS NOT AVAILABLE.

**WATER LINE UNDER PAVING**  
ALL MAINLINE UNDER PAVING SHALL BE INSTALLED 24" DEEP. ALL LATERAL LINES UNDER PAVING SHALL BE SCH 40 PVC AND INSTALLED 24" DEEP.

**SYSTEM COVERAGE**  
THE IRRIGATION CONTRACTOR IS TO ADJUST HEAD LOCATIONS IN THE FIELD IN ORDER TO GUARANTEE 10% COVERAGE. CONTRACTOR TO CONTACT THE CONTRACTING OFFICER PRIOR TO ANY MAJOR CHANGE(S) RESULTING IN ADDITIONAL COST TO THE OWNER.

**Irrigation System Maintenance Procedures**

While the system is designed to operate automatically, a regular maintenance schedule is necessary to prevent and address failures in the system as well as ensure that the system operates in a manner that meets or exceeds the MAVA values provided.

Any broken or malfunctioning irrigation system components should be replaced with the same components, or an equal or superior equivalent.

Upon completion of the project, the following measures should be performed by property management at intervals noted below:

**Weekly:**  
During weekly landscape maintenance operations, the maintenance personnel should look for signs of runoff, erosion, and plant die off due to irrigation system failures. If issues are detected, they should be brought to the attention of the maintenance supervisor and property management for timely correction.

All overhead spray heads shall be inspected to ensure clear operation and in order to identify and repair any damaged equipment.

**Monthly:**  
All irrigation and master valves shall be visually inspected by a property management representative while the valve is under operating conditions. All control valves and filters should be visually inspected and cleaned as required and in accordance with manufacturers specifications. All leaks shall be promptly reported to a landscape maintenance representative so that the valve may be repaired or replaced in a timely fashion with the minimum amount of leaking water exposed to open air.

All Root Watering Systems are to be visually inspected to insure that all locking gates are being reasonably kept free of debris. All gates that are not kept reasonably free of debris are to be reported to a landscape maintenance representative. All Root Watering Systems that have their locking gates damaged or missing are to be reported to a landscape maintenance representative so that the locking gate may be repaired or replaced in a timely fashion.

**MAINTENANCE LOG**  
Keep a log of all inspections and maintenance performance on the irrigation system (Updated copy to be provided to Property Manager on a monthly basis)

**Overall Landscape Maintenance Procedures**

At a minimum, the following items should be addressed on a regular basis as required per city code:

**Weekly**  
Pruning, weeding and maintenance of turf areas should be done on a weekly basis

**Monthly**  
Dead, dying and diseased vegetation should be replaced with equivalent plant material w/ similar hydrozone requirements, provided that the replaced vegetation does not result in mixing higher water use plants with low water use plants in the same hydrozone.

Invasive plant species should be eradicated as required.

Plant material should be maintained in order to avoid obstruction of motorists views.

**Annually**  
Mulch should be replenished in order to maintain appropriate soil moisture levels.

Soil amendments consistent with the agronomic soils report for this project should be applied in the manner prescribed in order to support and maintain healthy plant growth.

Lawns should be fertilized in a manner consistent with best management practices

**IRRIGATION LEGEND**

SYMBOL	MFG.	MODEL NO.	DESCRIPTION	RAD	GPM	PR	PSI
[Symbol]	HUNTER	(2) RZWS-36-50-CV	ROOT ZONE WATERING SYSTEM	1'	0.50 (1.0)	1.0	30
[Symbol]	HUNTER	(3) RR18-T RISER WITH HE-60-T Emitter & HE-DIFF DIFFUSER CAP	POINT SOURCE EMITTER SYSTEM	1'	0.1 (0.3)	1.0	30
[Symbol]	HUNTER	PROS-06-PRS30-CV-MP1000-90-210	QUARTER SPRAY HEAD	6'-15"	.21	0.41	30
[Symbol]	HUNTER	HDL-06-12-500-CV (SPACE DRIP LINES 12" O.C.)	DRIP LINE SYSTEM	12"	1.0	0.96	30
[Symbol]	HUNTER	HDL-06-12-500-CV (SPACE DRIP LINES 12" O.C.)	DRIP LINE SYSTEM	12"	1.0	0.96	30
[Symbol]	HUNTER	HDL-06-12-500-CV (SPACE DRIP LINES 12" O.C.)	DRIP LINE SYSTEM	12"	1.0	0.96	30

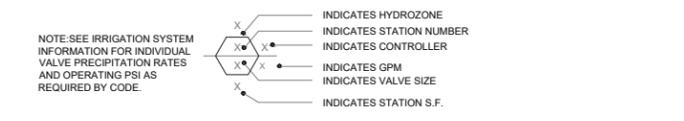
**DRIP IRRIGATION NOTES**

THE CONTRACTOR WILL NEED TO FIELD LOCATE HUNTER PLD-ARV AIR RELIEF VALVE KIT (SEE DETAIL) AT THE HIGHEST LOCATIONS ON EACH DRIP LINE SYSTEM

AT THE EXHAUST HEADER OF DRIP SYSTEM, THE CONTRACTOR SHALL INSTALL HUNTER PLD-BV FLUSH VALVE W/ BALL VALVE AND A HUNTER ECO-INDICATOR AT EACH DRIP SYSTEM AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT (SEE DETAILS).

- [Symbol] WATER METER - REFER TO CIVIL ENGINEER'S PLAN
- [Symbol] 1" WILKINS 375XL BACKFLOW PREVENTER W/ 1 1/2" SXL WYE STRAINER LOCATED IN V.I.T. STRONGBOX SB8C-45SS STAINLESS STEEL ENCLOSURE OR EQUAL
- [Symbol] 1 1/2" HUNTER IBC-151G-FS NORMALLY CLOSED MASTER VALVE - RELAY TO CONTROLLER
- [Symbol] 1" HUNTER FCT-100 FLOW SENSOR IN PVC HOUSING - RELAY TO CONTROLLER.
- [Symbol] NIBCO T-580 BALL VALVE - LINE SIZE.
- [Symbol] HUNTER, QUICK COUPLER, HQ-22DLRC WITH LOCKING CAP.
- [Symbol] AUTOMATIC CONTROLLER LOCATION - SEE NOTE ON THIS SHEET
- [Symbol] WEATHER SENSOR LOCATION - SEE NOTE ON THIS SHEET
- [Symbol] HUNTER ICV-101G-FS-AS-ADJ SERIES REMOTE CONTROL VALVE - SIZE INDICATED.
- [Symbol] HUNTER ICZ-101-40 1" CONTROL ZONE KIT WITH PVC BALL VALVE FOR FLOW 2.0 TO 20 GPM.
- [Symbol] 3/4" BRASS HOSE BIB W/ THREADED HOSE END TIMER (ANALOG) AT EACH COMMUNITY GARDEN PLANTER SEE DETAIL 3, SHEET 11.4

- [Symbol] POTABLE LATERAL LINE  
PVC SCH. 40 LATERAL LINE- 12" COVER IN PLANTING AREAS, 24" COVER UNDER PAVING. - SIZES INDICATED.
  - [Symbol] MAINLINE - INSTALL 18" COVER IN PLANTING AREAS, 24" COVER UNDER PAVING. - SIZES INDICATED.  
Mainlines (pressurized) 1 1/2 inch and smaller shall be Schedule 40 solvent-weld P.V.C.  
Mainlines (pressurized) 2 inch through 3 inch shall be Class 315 solvent-weld P.V.C., with thrust blocks per detail.
  - [Symbol] PVC SCH 40 MAIN AND LATERAL LINE SLEEVE 2x DIA. OF PIPE. - PROVIDE SLEEVES UNDER ALL PAVING OR WALL FOOTING.
- SLEEVE NOTE:**
- \* NOT ALL THE REQUIRED SLEEVES FOR CONTROL WIRE, LATERAL AND MAINLINE PIPE ARE SHOWN ON PLANS FOR CLARITY. PROVIDE CONTROL WIRE, LATERAL & MAINLINE PIPE SLEEVES UNDER ANY HARDSCAPE (CONCRETE / ASPHALT) OR WALL FOOTING.
  - \* ALL CONTROL WIRE, LATERAL AND MAINLINE PIPE RUNS TO BE INSTALLED IN SEPERATE SLEEVES.
  - \* ALL SLEEVING TO BE SCH. 40 PVC.
  - \* SIZING :  
- WIRE SLEEVES TO BE MIN. 2" AND DETERMINED BY CONTRACTOR IN FIELD. MUST BE OVERSIZED LEAVING AMPLE ROOM FOR FUTURE WIRE ADDITIONS OR REPAIRS.  
- PIPE SLEEVING TO BE MIN. 2 x DIAMETER OF PIPE ENCASED.



**CONTROLLER NOTE**

CONTRACTOR TO INSTALL A (12) STATION HUNTER IC-600-PED-SS EXTERIOR CONTROLLER W/ (1) ICM-600 MODULES LOCATED IN STAINLESS STEEL PEDESTAL AT THE APPROXIMATE LOCATION AS SHOWN. CONTRACTOR TO INSTALL AN HUNTER WSS-SEN-WS-GUARD WIRELESS SOLAR SYNC LOCATED IN SENSOR GUARD AND MOUNT TO THE SIDE OF PEDESTAL PER MFG. SPECS. IN AN AREA FREE OF OVERHEAD OBSTRUCTIONS. IRRIGATION SYSTEMS ARE DESIGNED TO OPERATE AT A MAXIMUM OF 6.8 GPM. CONTRACTOR TO PULL 24V WIRES AND CONNECT TO A MASTER VALVE, FLOW SENSOR AND REMOTE CONTROL VALVES AT THE APPROPRIATE LOCATIONS AS SHOWN AS REQUIRED. CONTRACTOR TO PROVIDE 120V CONTINUOUS POWER TO THE CONTROLLER. COORDINATE THESE LOCATIONS WITH OWNER/ DEVELOPER AND SHALL BE LOCATED WITHIN 800' AWAY FROM FLOW SENSOR.

**POINT OF CONNECTION NOTE**

CONTRACTOR TO LOCATE A WATER METER. REFER TO CIVIL ENGINEERING PLANS FOR THE LOCATION. INSTALL A REDUCED BACKFLOW PREVENTER, A MASTER VALVE AND A FLOW SENSOR AT THE APPROXIMATE LOCATION AS SHOWN. ALL POC APPURTENANCE MUST BE INSTALLED IN PLANTING AREA. COORDINATE THESE LOCATIONS WITH OWNER/DEVELOPER. CONTRACTOR TO RELAY MASTER VALVE & FLOW SENSOR TO CONTROLLER.

AVAILABLE PRESSURE: 70.0 PSI (ASSUMED)  
DESIGN PRESSURE: 62.3 PSI  
MAXIMUM DEMAND: 6.8 GPM

**COMPLIANCE STATEMENT**

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

JOHN PENNELL PHILLIPS 06-15-20  
DATE

**INSIDEOUT**  
architecture | interiors | landscape  
6000 HARDWOOD AVE  
OAKLAND CA 94618  
510 655 7674  
abouinsideout.com



**ISSUES:**

02.19.20 Response to city comments

04.28.20 Planting Revisions

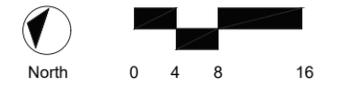
06.25.20 Planning Commission

1034-1042 47th Street  
Emeryville CA  
94608

**TITLE:**  
Irrigation Plan, Notes & Legend

SCALE: 1/8"=1'-0"  
DATE: 08 JUNE 2019

**DRAWING NO.:**  
11.1





ISSUES:

02.19.20	Response to city comments
04.28.20	Planting Revisions
06.25.20	Planning Commission

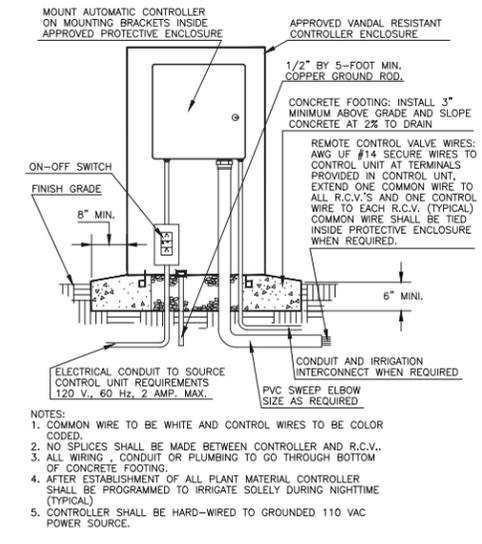
1034-1042 47th Street  
 Emeryville CA  
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TITLE:  
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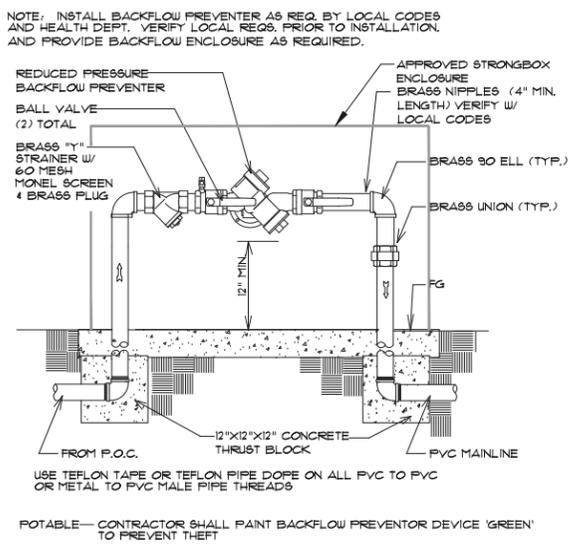
SCALE:  
 DATE: 08 JUNE 2019

DRAWING NO:

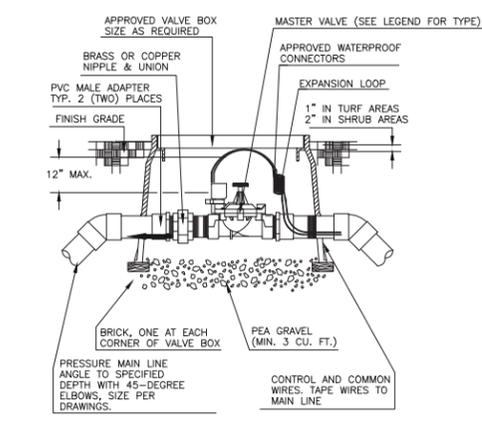
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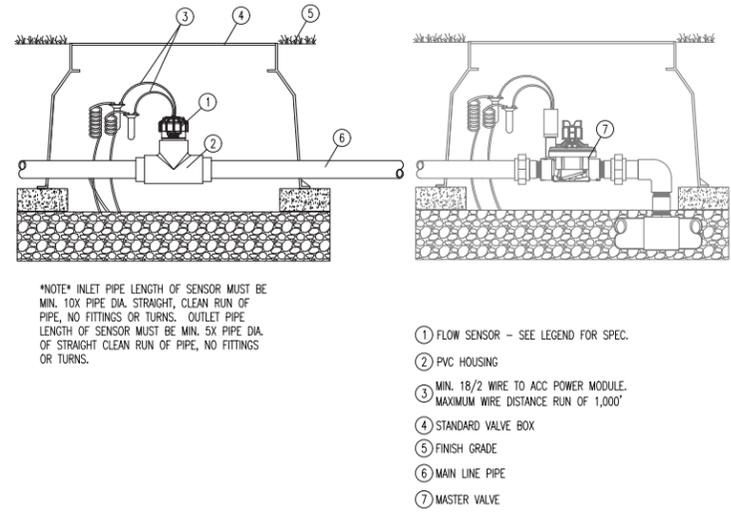
A. AUTOMATIC CONTROLLER



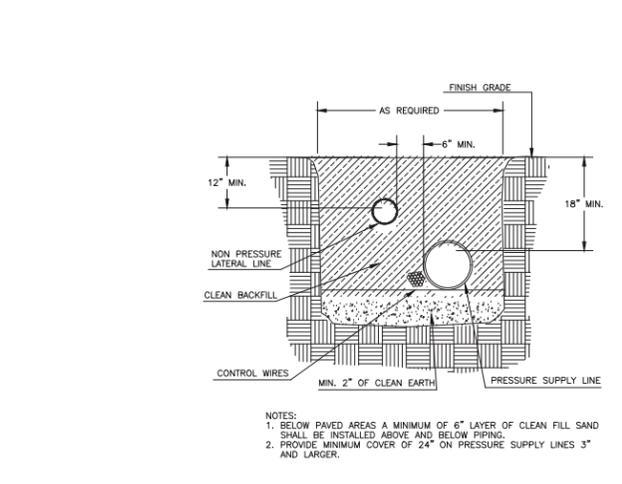
B. BACKFLOW PREVENTER



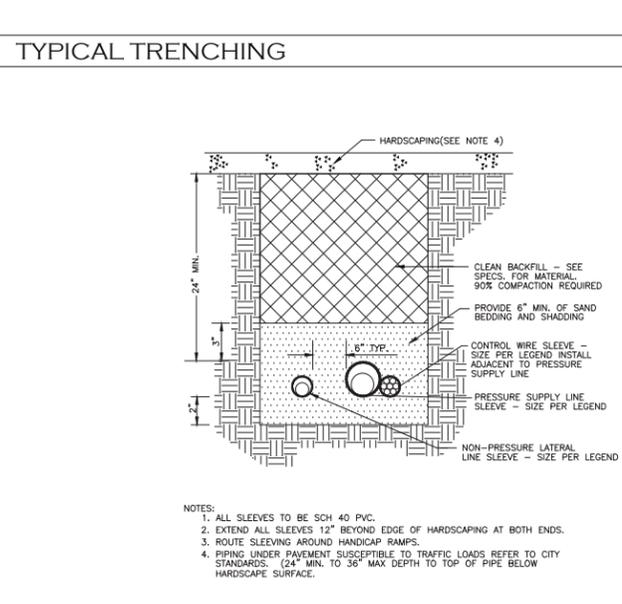
C. MASTER VALVE



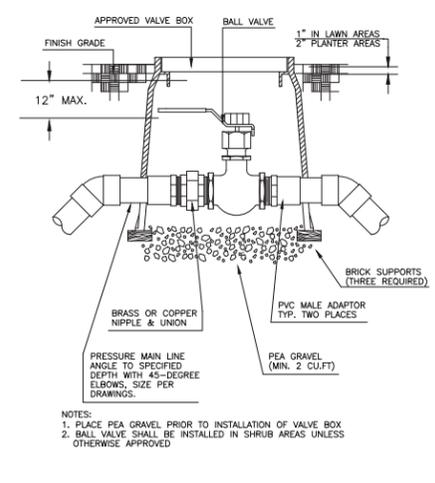
D. FLOW SENSOR



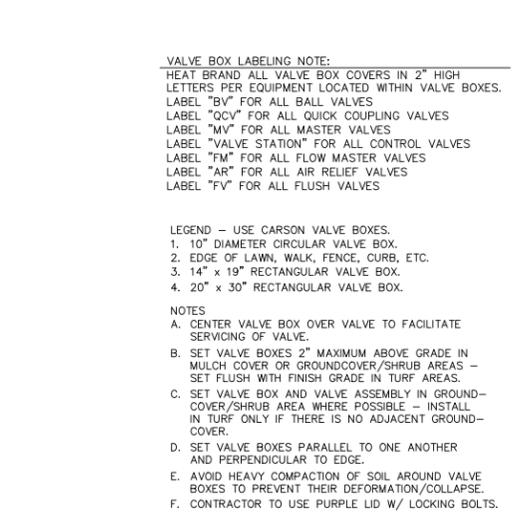
E. TYPICAL TRENCHING



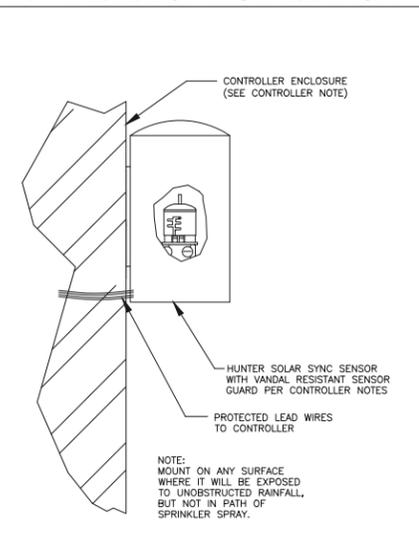
F. TYPICAL SLEEVING



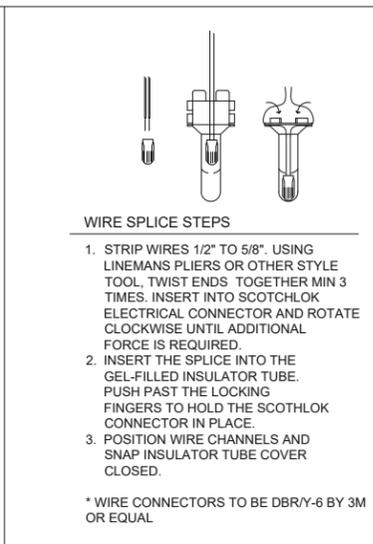
G. BALL VALVE



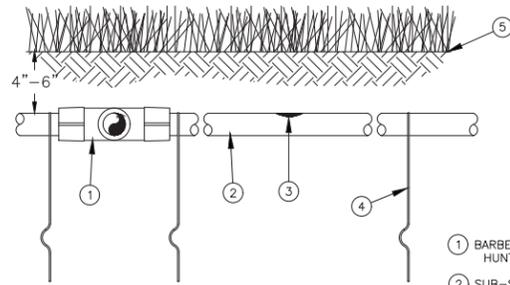
H. VALVE BOX INSTALLATION



J. RAIN SENSOR



I. WIRE CONNECTOR

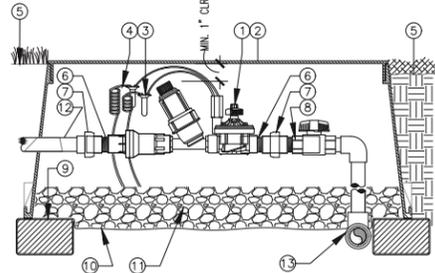


- ① BARBED PLD FITTING TEE: HUNTER PLDTEE
- ② SUB-SURFACE DRIPLINE: SEE LEGEND FOR SPEC.
- ③ INLINE DRIP EMITTER
- ④ TIE DOWN STAKE - SEE NOTE 1.
- ⑤ FINISH GRADE OR SHRUB BED WITH MULCH

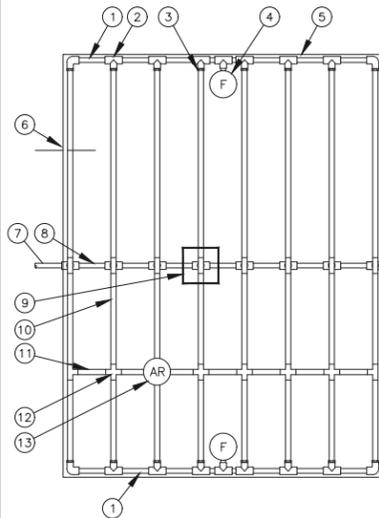
NOTES:  
 1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.  
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.  
 3. INSERTION FLOW AND TRENCHED INSTALLATIONS DO NOT REQUIRE TIE DOWN STAKES.

**LEGEND**

- ① HUNTER REMOTE CONTROL VALVE (IC2) WITH FILTER REGULATOR
- ② IRRIGATION VALVE BOX: HEAT STAMP LID WITH 'RDV' IN 2" LETTERS
- ③ WATERPROOF CONNECTORS (2)
- ④ 18"-24" COILED WIRE TO CONTROLLER
- ⑤ FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- ⑥ SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
- ⑦ PVC SLIP X FPT UNION
- ⑧ ISOLATION VALVE, SIZE AND TYPE PER PLAN
- ⑨ BRICK SUPPORTS (4)
- ⑩ FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- ⑪ 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- ⑫ IRRIGATION LATERAL
- ⑬ MAINLINE LATERAL AND FITTINGS



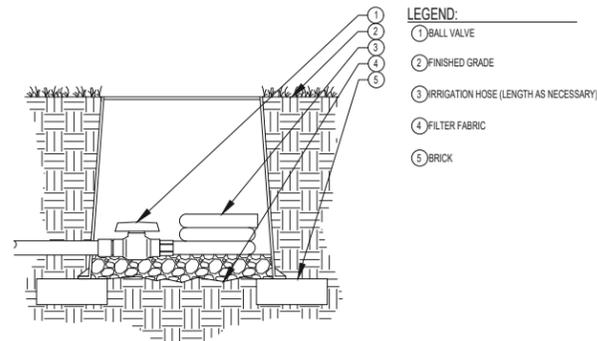
**D. CONTROL ZONE KIT**



- ① PVC EXHAUST HEADER
- ② PVC SCH 40 TEE OR EL (TYPICAL)
- ③ BARB X MALE FITTING
- ④ FLUSH POINT (TYPICAL) - SEE LEGEND FOR SPEC.
- ⑤ PERIMETER OF AREA
- ⑥ PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- ⑦ PVC SUPPLY PIPE FROM DRIP CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- ⑧ PVC SUPPLY MANIFOLD
- ⑨ CONNECTION FROM SUPPLY MANIFOLD TO DRIPLINE (TYPICAL)- SEE INSET A
- ⑩ SUB-SURFACE DRIPLINE: - SEE LEGEND FOR SPEC.
- ⑪ BLANK DRIPLINE TUBING
- ⑫ BARB X BARB INSERT TEE OR CROSS
- ⑬ 1/2" AIR RELIEF VALVE - SEE LEGEND FOR SPEC.
- ⑭ BARB X FEMALE FITTING
- ⑮ 3/4" PVC NIPPLE, LENGTH AS NECESSARY

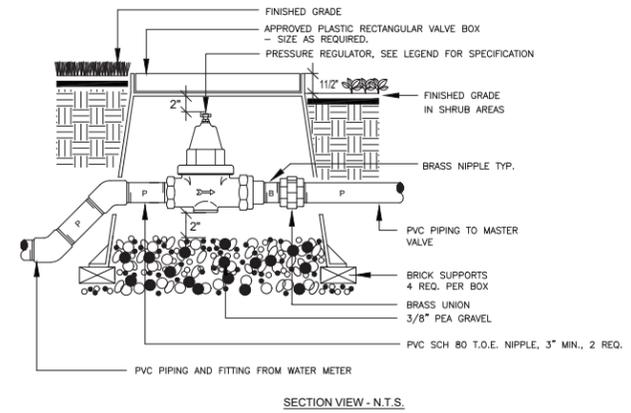
NOTES:  
 1. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH RECOMMENDED BY MANUFACTURER.  
 2. AIR RELIEF VALVE INSTALLED IN VALVE BOX AT OPTIMAL HIGHEST POINT FROM CONTROL ZONE KIT. MULTIPLE AIR RELIEF VALVES MAY BE NEEDED TO ACCOMMODATE DIFFERENCES IN GRADE.  
 3. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.  
 4. PRESSURE INDICATOR TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT IN CLEAR VIEW WHEN POPPED UP.  
 5. FLUSH POINT TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT TO ALLOW FOR MAXIMUM DEBRIS FLUSH IN SYSTEM.

**E. DRIPLINE LAYOUT**

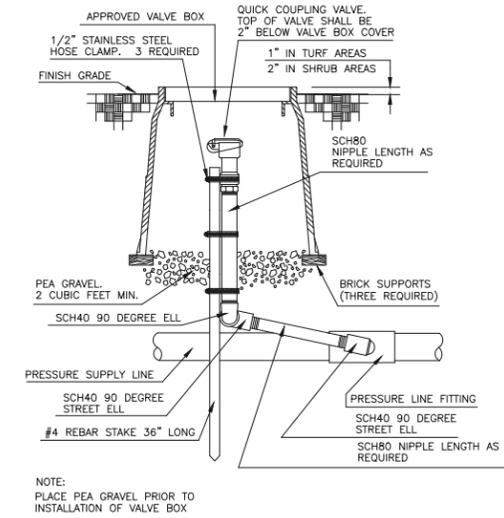


- ① BALL VALVE
- ② FINISHED GRADE
- ③ IRRIGATION HOSE (LENGTH AS NECESSARY)
- ④ FILTER FABRIC
- ⑤ BRICK

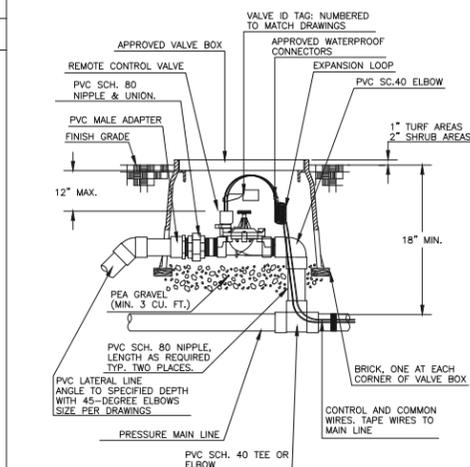
**F. FLUSH VALVE ASSEMBLY**



**A. PRESSURE REGULATOR**



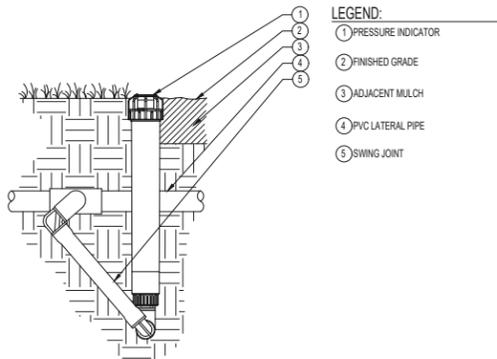
**B. QUICK COUPLER**



**C. REMOTE CONTROL VALVE**

NOTES:  
 1. INSTALL CONTROL AND VALVES MINIMUM 2' APART, 2' FROM STRUCTURES OR HARDSCAPE IN SHRUB AREAS.  
 2. PLACE PEA GRAVEL PRIOR TO INSTALLATION OF VALVE BOX.  
 3. PLACE BOXES AT RIGHT ANGLES TO HARDSCAPE OR STRUCTURES.  
 4. PIPE UPSTREAM OF VALVE ASSEMBLY IS EQUAL IN DIAMETER TO DOWNSTREAM PIPING OF VALVE ASSEMBLY. IF NECESSARY, ADD REDUCE-BUSHING TO BRING PIPING DIAMETER TO REMOTE CONTROL VALVE SIZE. REFER TO IRRIGATION CONSTRUCTION DOCUMENTS FOR PIPING SIZE.

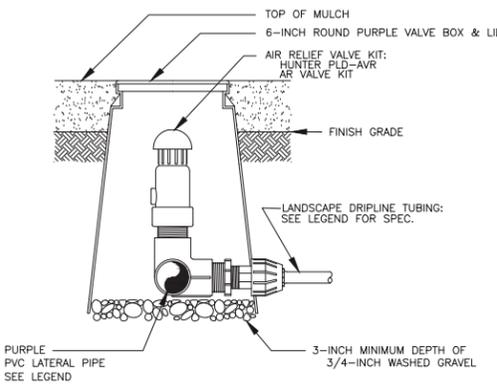
**G. SURSURFACE DRIP LINE**



- ① PRESSURE INDICATOR
- ② FINISHED GRADE
- ③ ADJACENT MULCH
- ④ PVC LATERAL PIPE
- ⑤ SWING JOINT

**H. PRESSURE INDICATOR**

NOTE:  
 PLACE ALL AIR RELIEF ASSEMBLIES AT HIGHEST SPOTS IN THE FIELD.



**I. AIR RELIEF VALVE**



ISSUES:  
 02.19.20 Response to city comments  
 04.28.20 Planting Revisions  
 06.25.20 Planning Commission

1034-1042 47th Street  
 Emeryville CA  
 94608

TITLE:  
 Irrigation Details

SCALE:  
 DATE: 08 JUNE 2019

DRAWING NO:

**11.3**

# IRRIGATION CALCULATIONS & SCHEDULES

## Data

Reference Evapotranspiration (Eto) Amounts:

Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
1.50	1.50	2.80	3.90	5.10	5.30	6.00	5.50	4.80	3.10	1.40	0.90

**Total Yearly Eto: 41.80 inches**

Irrigation System Information:

Station	Plant Factor	Irr Type	sq ft area	ppt	Efficiency	GPM	Run Days	Cycle/Day
A1	0.5	RWS	4	1.00	81%	4.00	3	2
A2	0.2	Emitter	8	1.00	81%	2.40	3	1
A3	0.2	Drip - 12"	427	0.96	81%	4.30	3	1
A4	0.8	Rotator	367	0.41	75%	2.90	3	4
A5	0.2	RWS	4	1.00	81%	2.00	3	1
A6	0.2	Drip - 12"	600	0.96	81%	5.70	3	1
A7	0.2	Drip - 12"	361	0.96	81%	3.60	3	1
A8	0.5	Drip - 12"	681	0.96	81%	6.80	3	2

California Water Efficient Landscape Worksheet - 47th Street - POC 'A'

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Efficiency (E <sub>c</sub> )	ETAF (PF/E <sub>c</sub> )	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>#</sup>	
<b>Regular Landscape Areas</b>								
HZ 1 - DRIP - MOD.	0.5	Drip	0.81	0.62	681	420	10894	
HZ 2 - DRIP - LOW	0.2	Drip	0.81	0.25	1,388	343	8882	
HZ 3 - BUBBLER - LOW	0.2	Drip	0.81	0.25	8	2	51	
HZ 4 - EMITTER - LOW	0.2	Drip	0.81	0.25	8	2	51	
HZ 5 - ROTATOR - MOD.	0.8	Overhead	0.75	1.07	367	391	10145	
Totals						2452	1159	30024
<b>Special Landscape Areas</b>								
					1	0	0	
					1	0	0	
					1	0	0	
					1	0	0	
Totals						0	0	0
ETWU Total						30024		
Maximum Allowed Water Allowance (MAWA) <sup>#</sup>						34950		

ETAF Calculations			
Regular Landscape Areas			
Total ETAF x Area	1159	Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.	
Total Area	2452		
Average ETAF	0.47		
All Landscape Areas			
Total ETAF x Area	1159	Total Landscape Area in this package: 2436 SQ. FT.	
Total Area	2452		
Average ETAF	0.47		

## Establishment Irrigation Schedule

Station	Run Days per week	Cycles (Start times)	Minutes per Cycle											
			Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
A1	3	2	3	3	5	7	9	10	11	10	9	6	3	2
A2	3	1	2	2	4	6	8	8	9	8	7	5	2	1
A3	3	1	2	2	4	6	8	8	9	8	7	5	2	1
A4	3	4	6	6	11	15	20	21	23	21	19	12	5	4
A5	3	1	2	2	4	6	8	8	9	8	7	5	2	1
A6	3	1	2	2	4	6	8	8	9	8	7	5	2	1
A7	3	1	2	2	4	6	8	8	9	8	7	5	2	1
A8	3	2	3	3	5	8	10	10	12	11	9	6	3	2

NOTE:

FOR THE ESTABLISHMENT PERIOD, THE CONTRACTOR IS TO SELECT THE APPROPRIATE 90 DAY PERIOD (I.E. MAY, JUNE, JULY) FROM THE ANNUAL SCHEDULE PROVIDED

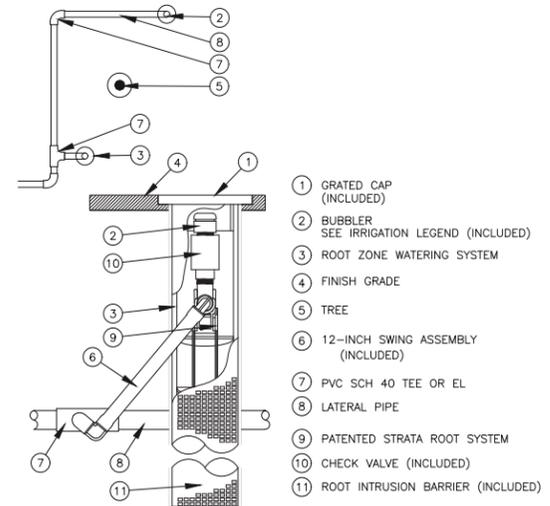
## Established Irrigation Schedule

Station	Run Days per week	Cycles (Start times)	Minutes per Cycle											
			Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
A1	3	2	2	2	4	6	8	8	9	8	7	5	2	1
A2	3	1	2	2	3	5	6	7	7	7	6	4	2	1
A3	3	1	2	2	4	5	7	7	8	7	6	4	2	1
A4	3	4	5	5	9	13	17	17	20	18	16	10	5	3
A5	3	1	2	2	3	5	6	7	7	7	6	4	2	1
A6	3	1	2	2	4	5	7	7	8	7	6	4	2	1
A7	3	1	2	2	4	5	7	7	8	7	6	4	2	1
A8	3	2	2	2	5	6	8	9	10	9	8	5	2	1

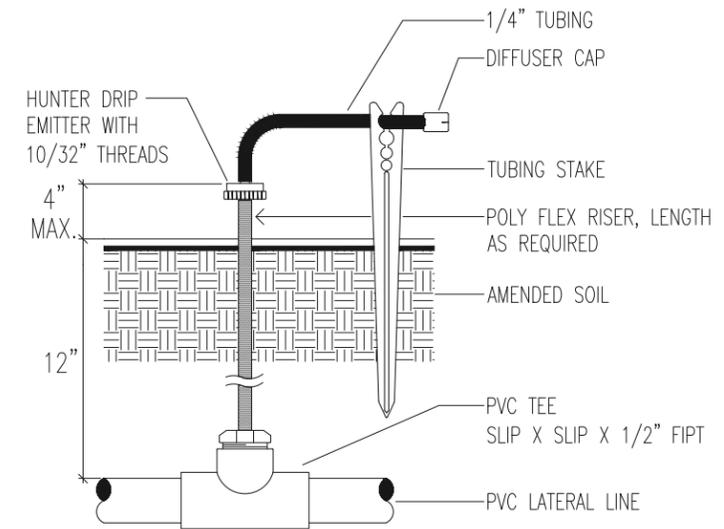
## PRESSURE LOSS CALCULATIONS - POC 'A'

VALVE #	'A7'
GPM	6.8 GPM
WATER METER (EXISTING)	
BALL VALVES (1 1/2")	1.0
BACKFLOW PREVENTER (1")	12.0
FLOW METER (1")	1.0
MASTER VALVE (1 1/2")	1.5
VALVE	2.8
MAINLINE (95' @ 1 1/2")	0.1
LATERAL LINE (5.0 MAX.)	(5.0 MAX.)
ELEVATION CHANGE (UP GRADE 0')	0.0
FITTING LOSS (10%)	2.4
<b>TOTAL PRESSURE LOSS</b>	<b>26.6</b>
MINIMUM OPERATING PRESSURE	30
10% RESIDUAL PRESSURE REQUIRED	5.7
DESIGN PRESSURE REQUIRED	62.3
AVAILABLE PRESSURE (P.O.C.)	70.0 (ASSUMED)
SET PRESSURE REGULATOR @	65.0
RESIDUAL PRESSURE REMAINING	+2.7

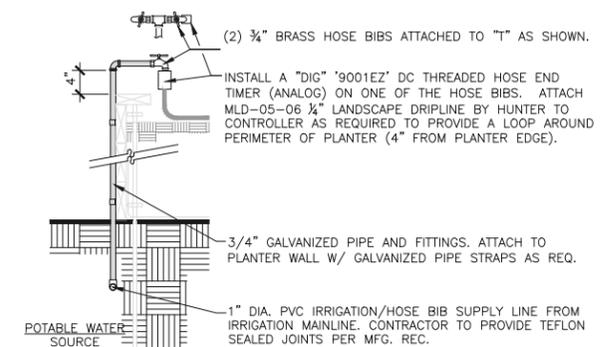
Contractor shall verify the static water pressure with supplier prior to installation. If different from PSI noted above, Contractor to notify Owner for instructions. Failure to do so will result in contractor being responsible for changes that might occur.



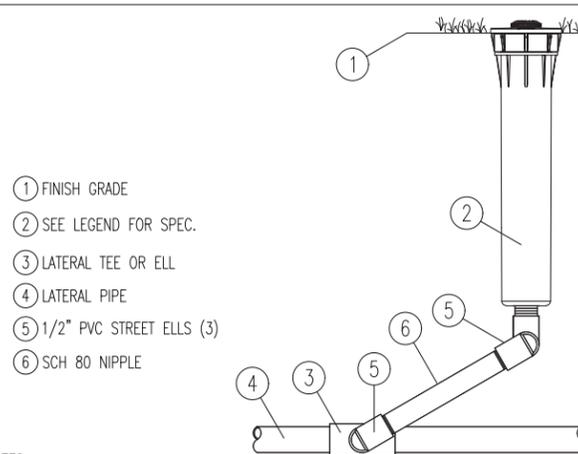
## A. ROOT ZONE WATERING SYSTEM



## B. POINT SOURCE EMITTER AT VINES



## C. COMMUNITY GARDEN IRRIGATION



NOTES:

- INSTALL SPRINKLER HEADS 6-12" FROM PAVING EDGE IN GROUND COVER AREAS AND 4" FROM PAVING EDGE IN TURF AREAS ONLY WHEN THAT SURFACE DRAINS BACK INTO A LANDSCAPE AREA. OTHERWISE, LOCATE SPRINKLER HEADS 24" FROM PAVING EDGE & WALL/FENCE.
- INSTALL HEADS FLUSH WITH TOP OF HARDSCAPE AT INTERSECTIONS AND CORNERS.
- USE TEFLON TAPE ON ALL MALE THREADED FITTINGS EXCEPT HEAD.
- WHERE NOTED CHECK VALVE SHALL BE INSTALLED UNDER HEAD USING SCHEDULE 80 NIPPLE.

## D. POP-UP SPRINKLER HEAD

INSIDEOUT

architecture | interiors | landscape  
6000 HARDWOOD AVE  
OAKLAND, CA 94618  
510 655 7674  
aboutinsideout.com



ISSUES:

- 02.19.20 Response to city comments
- 04.28.20 Planting Revisions
- 06.25.20 Planning Commission

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94608

TITLE:

Irrigation Details,  
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DATE: 08 JUNE 2019

DRAWING NO:

11.4