

08/08/2016

5532 Doyle Street Lofts Project

Revised Floor Area Proposal Description

During the construction of this project it was found that the City of Emeryville has revised its requirements for floor area on projects of this zoning from the 50% FAR max to a 100% FAR max now allowed.

This was great news since the previous requirements were incredibly restrictive and being able to add a bit more floor area will make these units more viable.

This additional floor area can be achieved, without affecting at all the exterior façade, the building footprint or the landscape in any way, by doing the following:

Front Unit (additional 63 sf proposed) :

No change at all to Lower Floor area:

Upper floor area:

Some existing open space is being filled in around the stairway that was previously just open to the floor below. This is being done w/out any changes to the unit's windows or building footprint.

Rear Unit (additional 235 sf proposed) :

No change at all to Lower Floor area:

Upper floor area:

The area that was previously a storage loft under 7 ft is being lowered just enough to create code height living space on this upper level.

These proposed changes would take the overall combined floor area from 1500 sf to 1798sf (588 (front unit) + 1210 (rear unit)): A difference of 10% FAR (60%FAR instead of 100%FAR... still far below the 100% FAR now allowed on this site.

We appreciate your help in approving this minor change so that the two new residential units will create even more viable living space for the 5532 Doyle Street site.

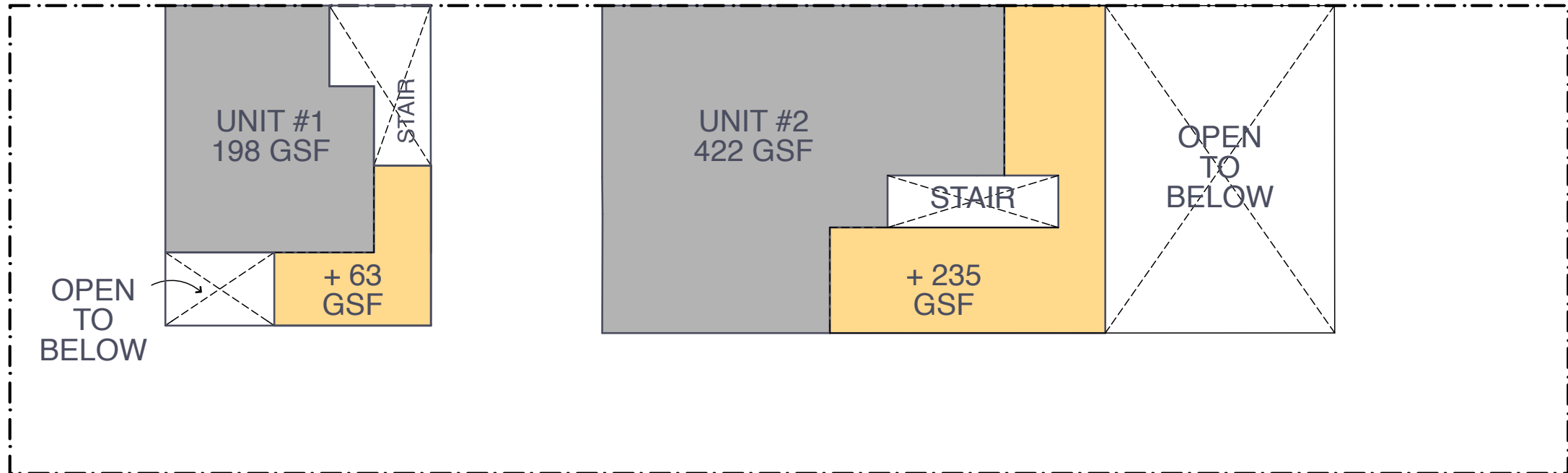
If you should have questions about the project, please don't hesitate to call or email me

Sincerely,

Alex Bergtraun
Applicant, Architect
Studio Bergtraun Architects, AIA
P: 510-652-0612, ext 1#
Email: alex@studiobergtraun.com

DOYLE STREET LOFTS

WITH PROPOSED ADDITIONAL INTERNAL FLOOR AREA - NO EXTERNAL CHANGES



UPPER FLOOR

NOTE:

1. STAIR AREA INCLUDED IN GROUND FLOOR CALCS, NOT IN UPPER FLOOR CALCS.

2. AREAS OPEN TO GROUND FLOOR BELOW NOT INCLUDED IN UPPER FLOOR CALCS.

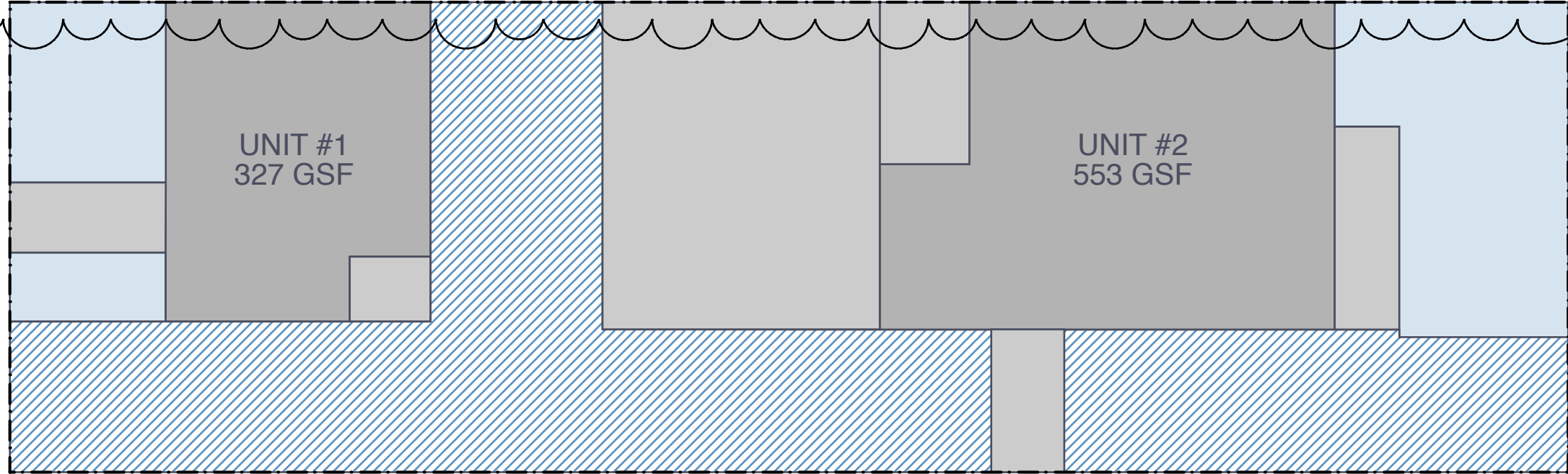
3. WALL THICKNESS AREA WHERE ADJOINING AREAS OPEN TO BELOW ARE INCLUDED IN GROUND FLOOR CALCS, NOT IN UPPER FLOOR CALCS.

UPPER UNIT #1 = 198 + 63 = 261 SF

UPPER UNIT #2 = 422 + 235 = 657 SF

261 + 327 = 588 GSF

657 + 553 = 1210 GSF



GROUND FLOOR		UPPER FLOOR		
BUILDING AREA (IMPERVIOUS)	880 SF	918 SF	=1798 SF TOTAL BLDG AREA	3
IMPERVIOUS PAVING	596 SF	-- NO CHANGE	1798/3000=60% =6 =FAR	
PERVIOUS PAVING	1107 SF	-- NO CHANGE		
PERVIOUS LANDSCAPING/ PLANTING AREA	417 SF	-- NO CHANGE		
3000 SF = TOTAL LOT AREA				
IMPERVIOUS COVERAGE		NO CHANGE		
880 SF+596 SF=1476 SF				
1476/3000=49%				

2 AREA CALCULATIONS

NOT TO SCALE

3 PERSPECTIVE VIEW FROM SOUTH

NOT TO SCALE

STAKING CERTIFICATION BY A LICENSED LAND SURVEYOR TO IDENTIFY THE LOT LINES IS REQUIRED PRIOR TO FOUNDATION INSPECTION.

1 SITE PLAN/ AERIAL MAP

SCALE: 1/16"=1'-0"



Additional internal floor area is being proposed for both the front and the rear units with no exterior changes to the building or landscape proposed.

This additional area is achieved by:

Front unit: Some existing open space is being filled in around the stairway.

Rear unit: The area that was previously a storage loft under 7 ft is being lowered just enough to create code height living space.

Project Description

APPLICABLE CODES & REGULATIONS:

2013 California Building Standards Code

2013 California Residential Code

2013 California Mechanical Code

2013 California Plumbing Code

2013 California Electrical Code

2013 California Energy Code

2013 California Fire Code

2013 California Green Building Standards Code

Codes & Regulations

Property Address: 5532 Doyle Street

APN: 49-1313-16

Jurisdiction: City of Emeryville

Lot Area: 3,000 SF

Lot Frontage: 30'

Zoning: RM

Occupancy: R-3/U

Construction Type: Type-V

Development Data

Lot Coverage (Structures): 880 sf = 29.3% NO CHANGE

Lot Coverage (Impervious Paving): 596 sf = 19.9%

Lot Coverage (Structures + Impervious Paving): 1476 sf = 49% NO CHANGE

FAR: 6 = 1798/3000 SF

Total Building Area: 588 + 1210 = 1798 gsf

Maximum Building Height Allowed: 30'

Setbacks:

Front = 10'

Side = 3'

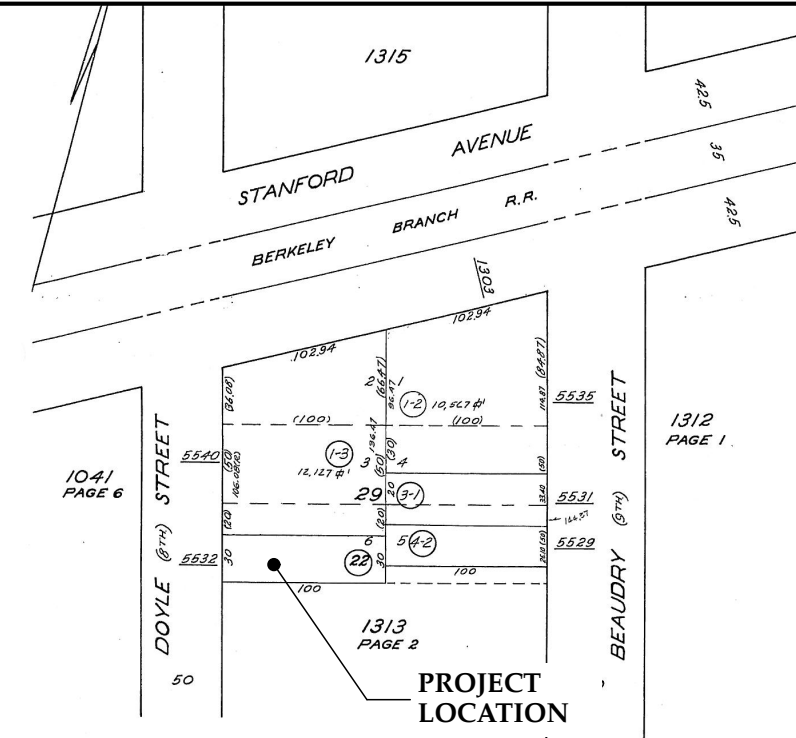
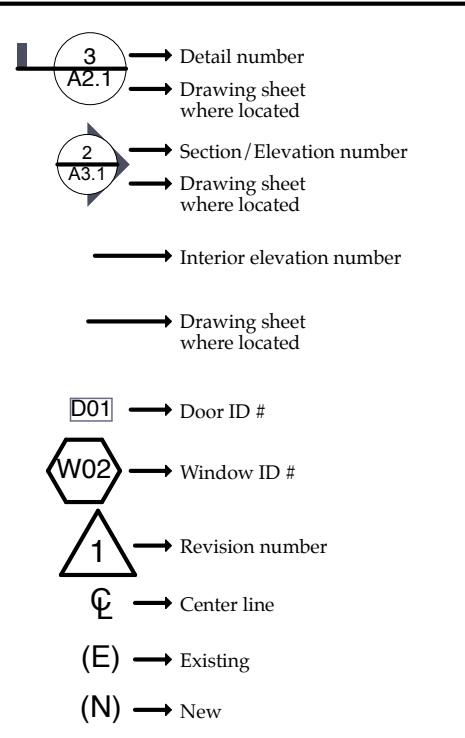
Rear = 15'

Parking Spaces Required: 3

Parking Spaces Provided: 3

Bicycle Parking Spaces Required: 0

(Section 9-4.408 (c)). No bicycle parking is required for Single Unit or Two Unit residential uses.



Owner

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Architect

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v: 510.428.0803

Architectural Sheets

T1.0 Title/Project Data/Site Plan

A1.1 Floor Plans

A3.0 Sections

Symbols

Parcel Map

Location Map

Contact List

Sheet Index

Project Data

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Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all dimensions shown on these drawings. Contractor shall be responsible for any variations immediately of any variations from the dimensions and conditions shown by these drawings. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

DOYLE STREET LOFTS

5532 Doyle Street
Emeryville, CA 94608
A.P.N.: 49-1313-16

Revisions

No.	Date
1	2015.04.16
2	2015.08.26
3	2016.08.08

Date: 2/09/15

Project: 14013

T1.0

4.406.1 Rodent proofing.

Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.

4.504.2.1 Adhesives, sealants and caulks.

Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits

4.504.2.2 Paints and coatings. Paints, stains and other coatings shall be compliant with VOC limits.

4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.

4.504.2.4 Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used.

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

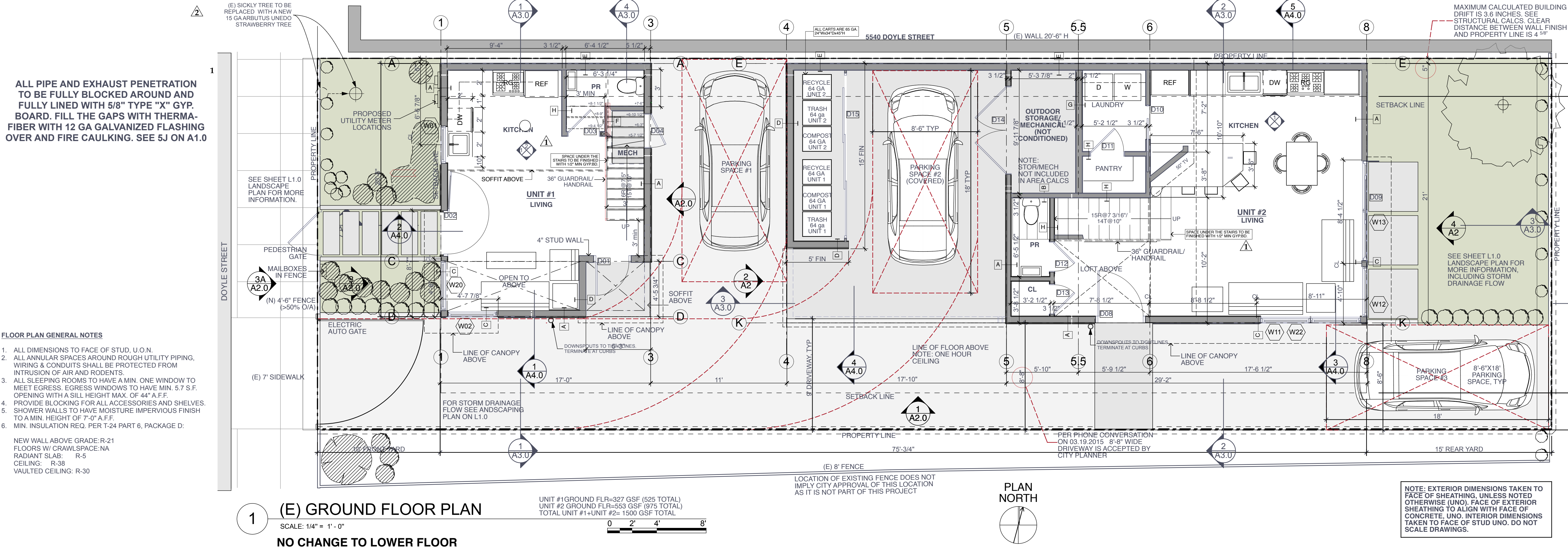
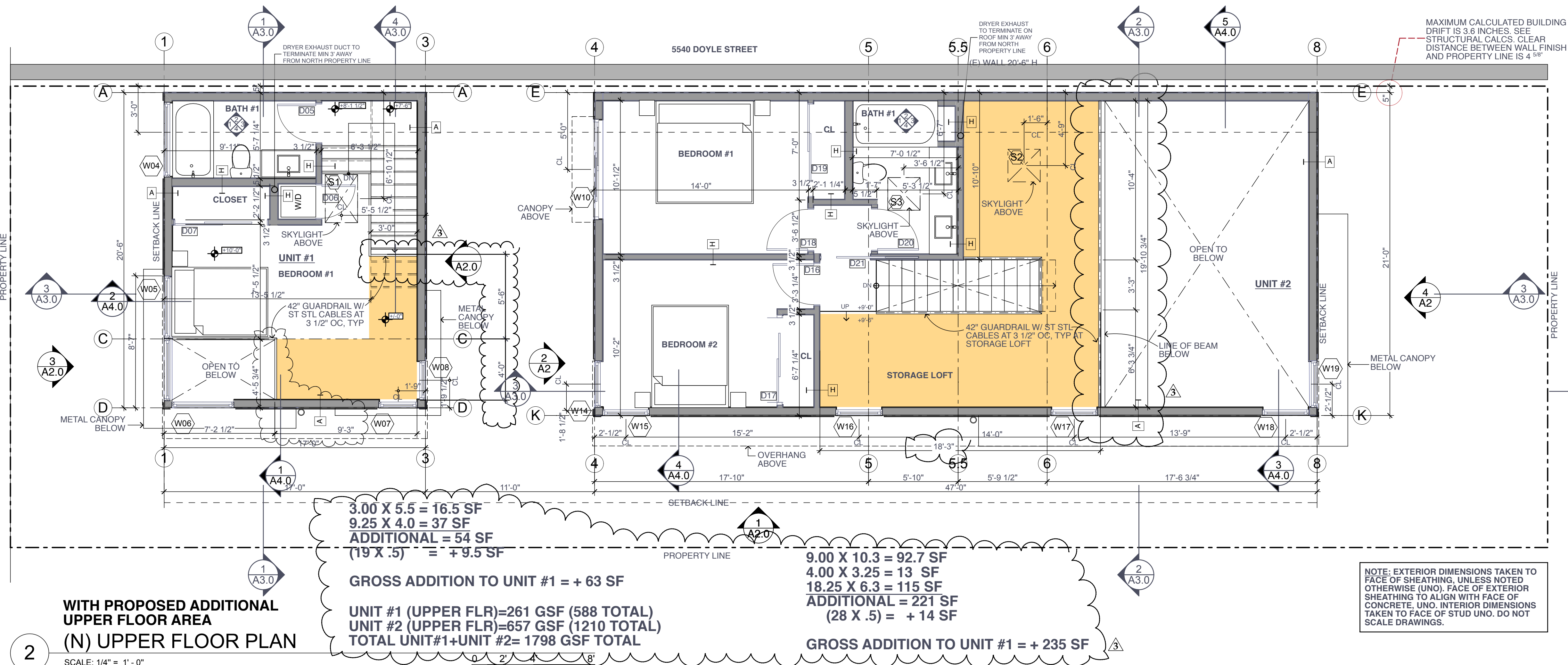
4.504.3 Carpet systems. Carpet and carpet systems shall be compliant with VOC limits.

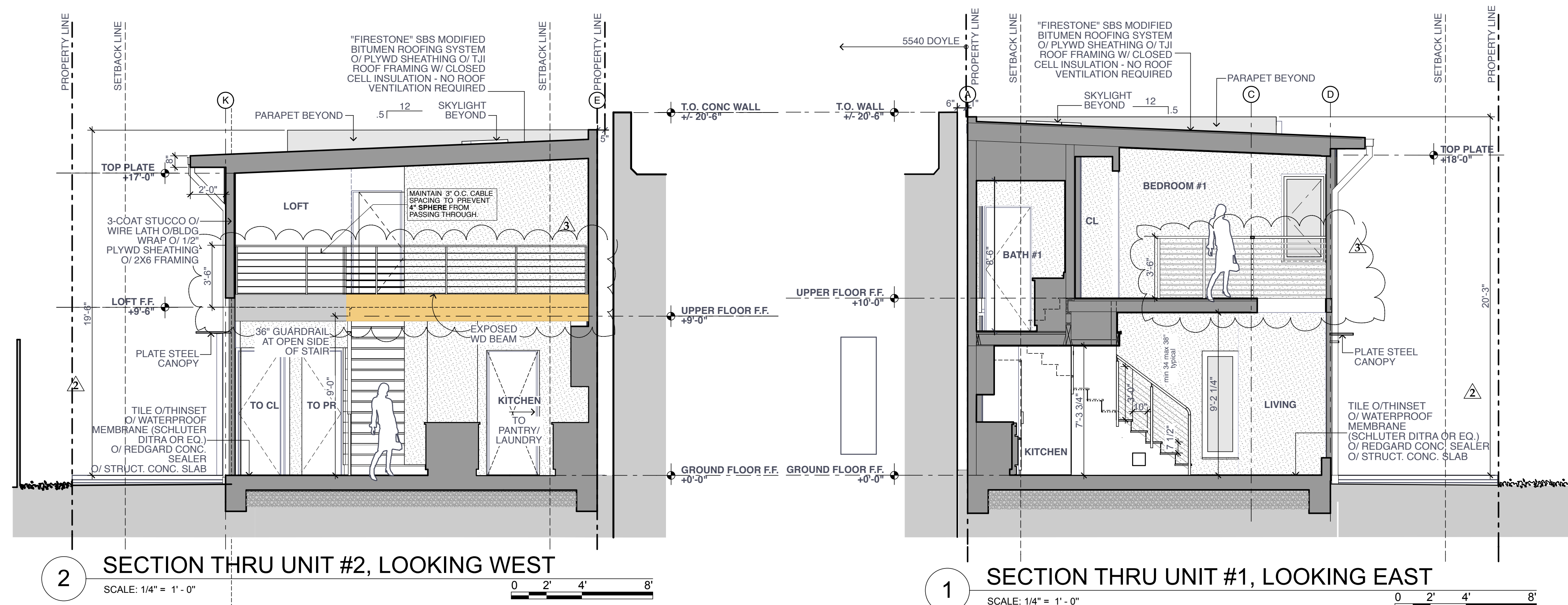
4.504.5 Composite wood products. Particle board, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.

4.505.3 Moisture content of building materials.

Moisture content of building materials used in wall and floor framing is checked before enclosure. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content.

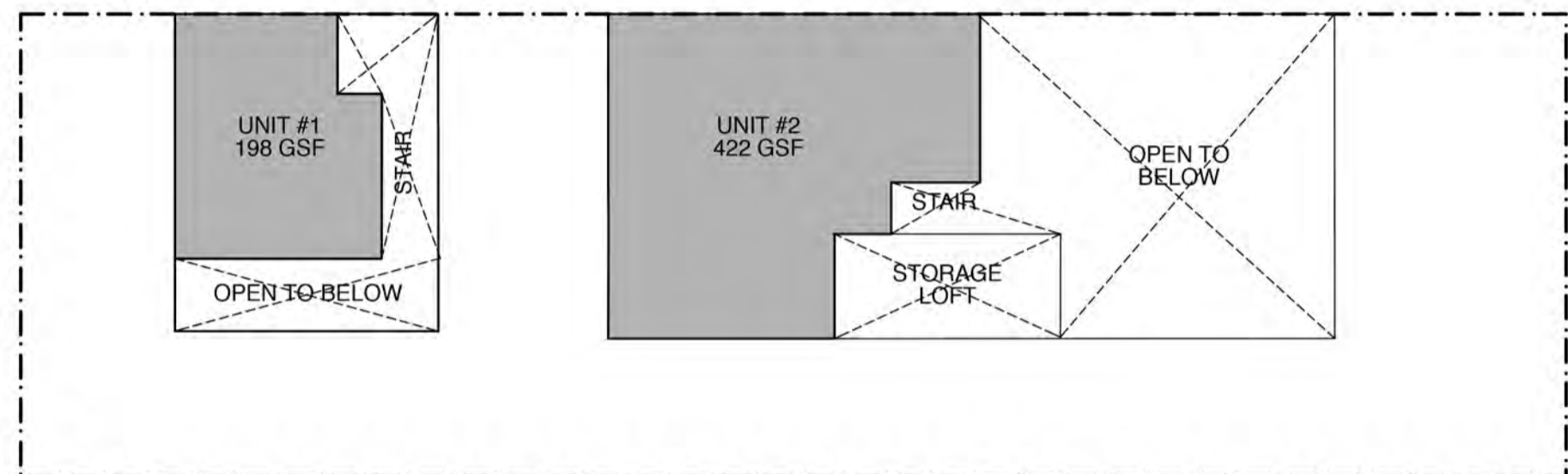
703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial compliance.





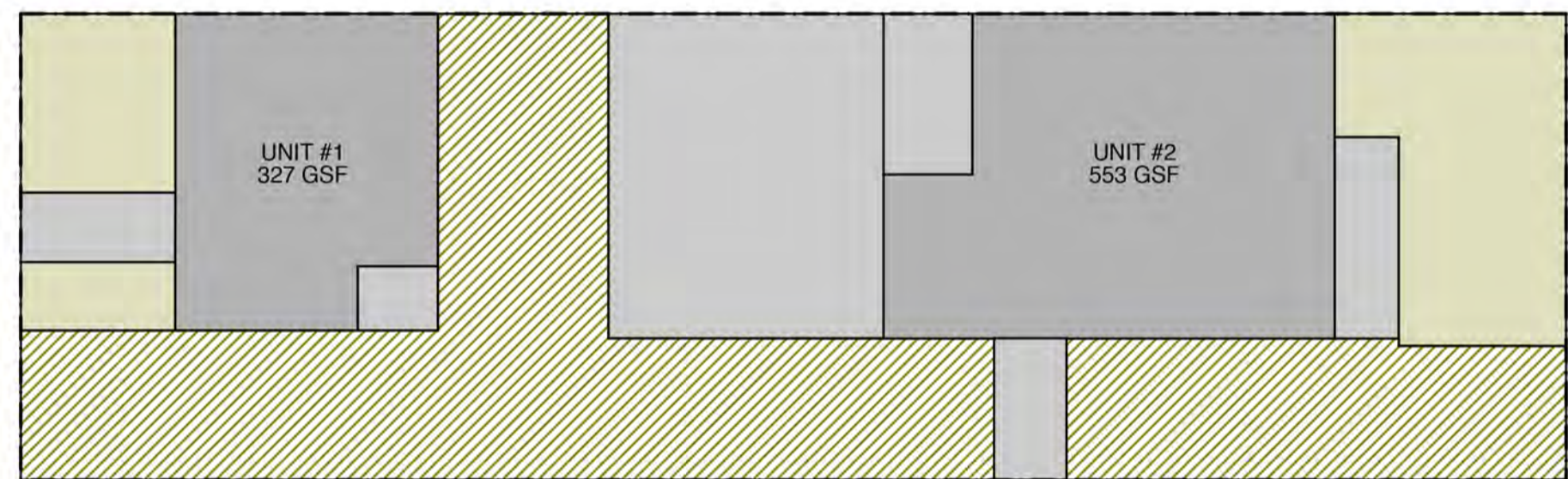
DOYLE STREET LOFTS

PREVIOUSLY COUNCIL APPROVED SET



UPPER FLOOR

NOTE:
1. STAIR AREA INCLUDED IN GROUND FLOOR CALCS, NOT IN UPPER FLOOR CALCS.
2. STORAGE LOFT AREA NOT INCLUDED, CEILING HEIGHT < 7'.
3. AREAS OPEN TO GROUND FLOOR BELOW NOT INCLUDED IN UPPER FLOOR CALCS.
4. WALL THICKNESS AREA WHERE ADJOINING AREAS OPEN TO BELOW ARE INCLUDED IN GROUND FLOOR CALCS, NOT IN UPPER FLOOR CALCS.



	GROUND FLOOR	UPPER FLOOR	
BUILDING AREA (IMPERVIOUS)	880 SF	620 SF	=1500 SF TOTAL BLDG AREA
IMPERVIOUS PAVING	596 SF	--	1500/3000=50% =.5 =FAR
PERVIOUS PAVING	1107 SF	--	
PERVIOUS LANDSCAPING/ PLANTING AREA	417 SF	--	
	3000 SF = TOTAL LOT AREA		
	IMPERVIOUS COVERAGE = 880 SF+596 SF=1476 SF		
	1476/3000=49%		

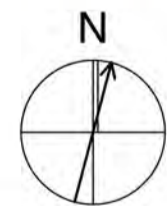
2 AREA CALCULATIONS

NOT TO SCALE



1 SITE PLAN/ AERIAL MAP

SCALE: 1/16"=1'-0"



Site Plan

Two new two-story homes are proposed, to replace two existing single-story units. Unit #1 (525 sf) and Unit #2 (975 sf). Lot contains three parking spaces: one fully covered (but not enclosed), and two uncovered.

Both homes to be wood-framed and clad with stucco, aluminum and steel, with anodized aluminum windows and membrane roofing. Both homes to have hydronic radiant heating. Both homes to be fully sprinklered.

Exterior site improvements to include new semi-transparent front fence with pedestrian and electric automobile gate; new rear fence; decomposed granite porous paving for driveway surface; colored concrete paving pads; new native, non-invasive planting and landscaping in accordance with Bay-Friendly Coalition guidelines.

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Codes & Regulations

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APN: 49-1313-16
Jurisdiction: City of Emeryville
Lot Area: 3,000 SF
Lot Frontage: 30'
Zoning: RM
Occupancy: R-3/U
Construction Type: Type-V

Development Data
Lot Coverage (Structures): 880 sf = 29.3%
Lot Coverage (Impervious Paving): 596 sf = 19.9%
Lot Coverage (Structures + Impervious Paving): 1476 sf = 49%
FAR: .5 = 1500 gsf
Total Building Area 1500 gsf

Maximum Building Height Allowed: 30'

Setbacks: Front = 10'
Side = 3'
Rear = 15'

Parking Spaces Required: 3
Parking Spaces Provided: 3

Bicycle Parking Spaces Required: 0
(Section 9-4.408 (c)). No bicycle parking is required for Single Unit or Two Unit residential uses.

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Architectural Sheets
T1.0 Title/Project Data/Site Plan
T1.1 Site Survey & Existing Conditions Photos
T1.2 Existing Conditions Photos
T1.3 Perspective Renderings
A1.1 Floor Plans
A2.0 Elevations Unit #1
A2.1 Elevations Unit #2
L1.0 Landscape Plan

Contact List

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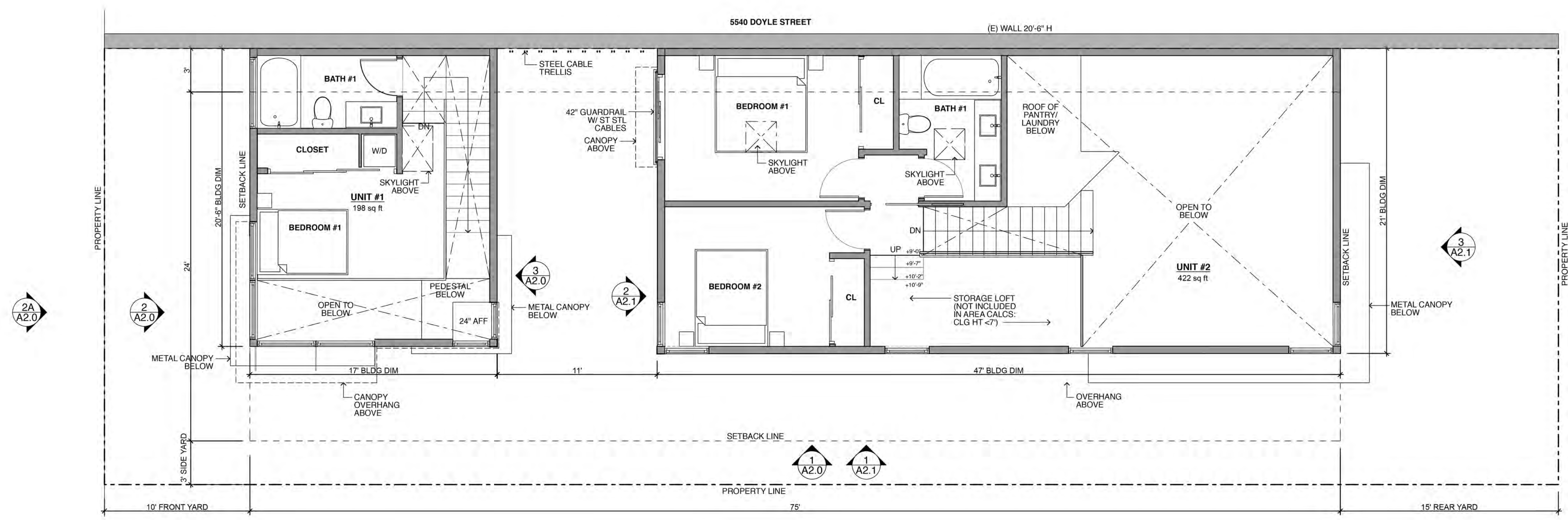
PLANNING REVIEW

Revisions	No.	Date

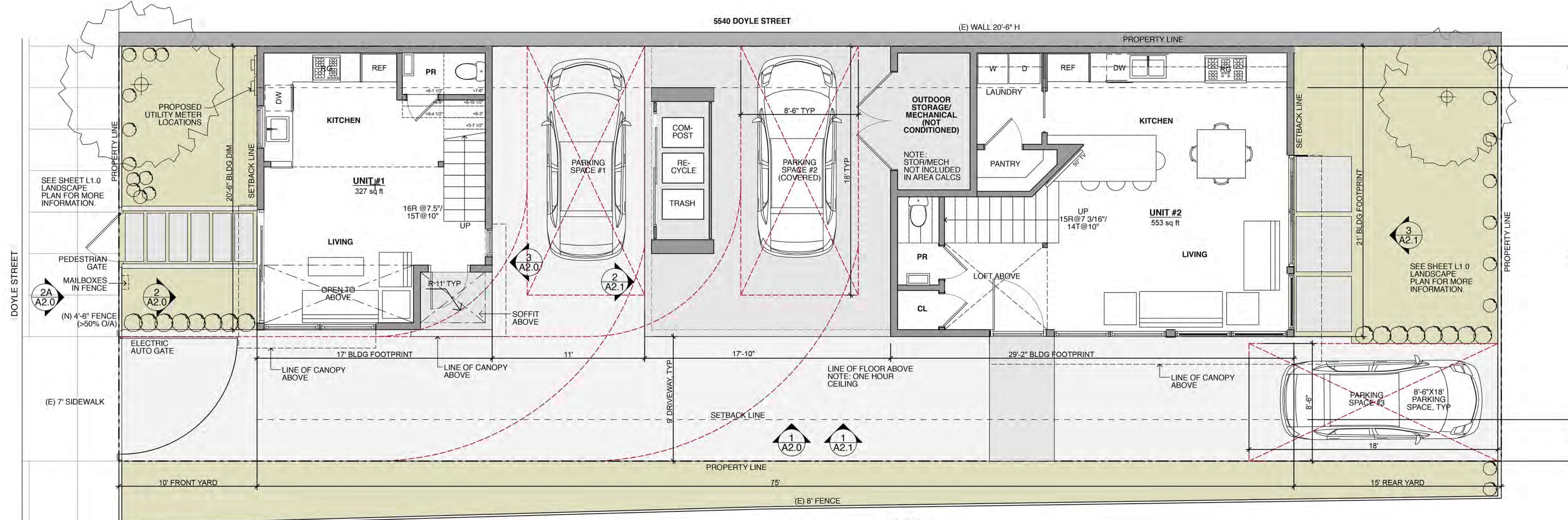
Date: 11/10/14

Project: 14013

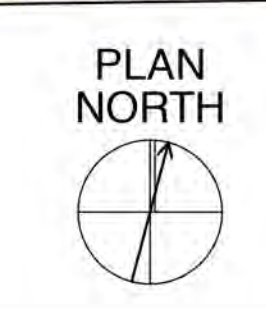
T1.0



2 (N) UPPER FLOOR PLAN
SCALE: 1/4" = 1' - 0"
UNIT #1 (UPPER FLR)=198 GSF (525 TOTAL)
UNIT #2 (UPPER FLR)=422 GSF (975 TOTAL)
TOTAL UNIT#1+UNIT #2= 1500 GSF TOTAL



1 (N) GROUND FLOOR PLAN
SCALE: 1/4" = 1' - 0"
UNIT #1 GROUND FLR=327 GSF (525 TOTAL)
UNIT #2 GROUND FLR=553 GSF (975 TOTAL)
TOTAL UNIT #1+UNIT #2= 1500 GSF TOTAL



PREVIOUSLY COUNCIL APPROVED SET
Floor Plans